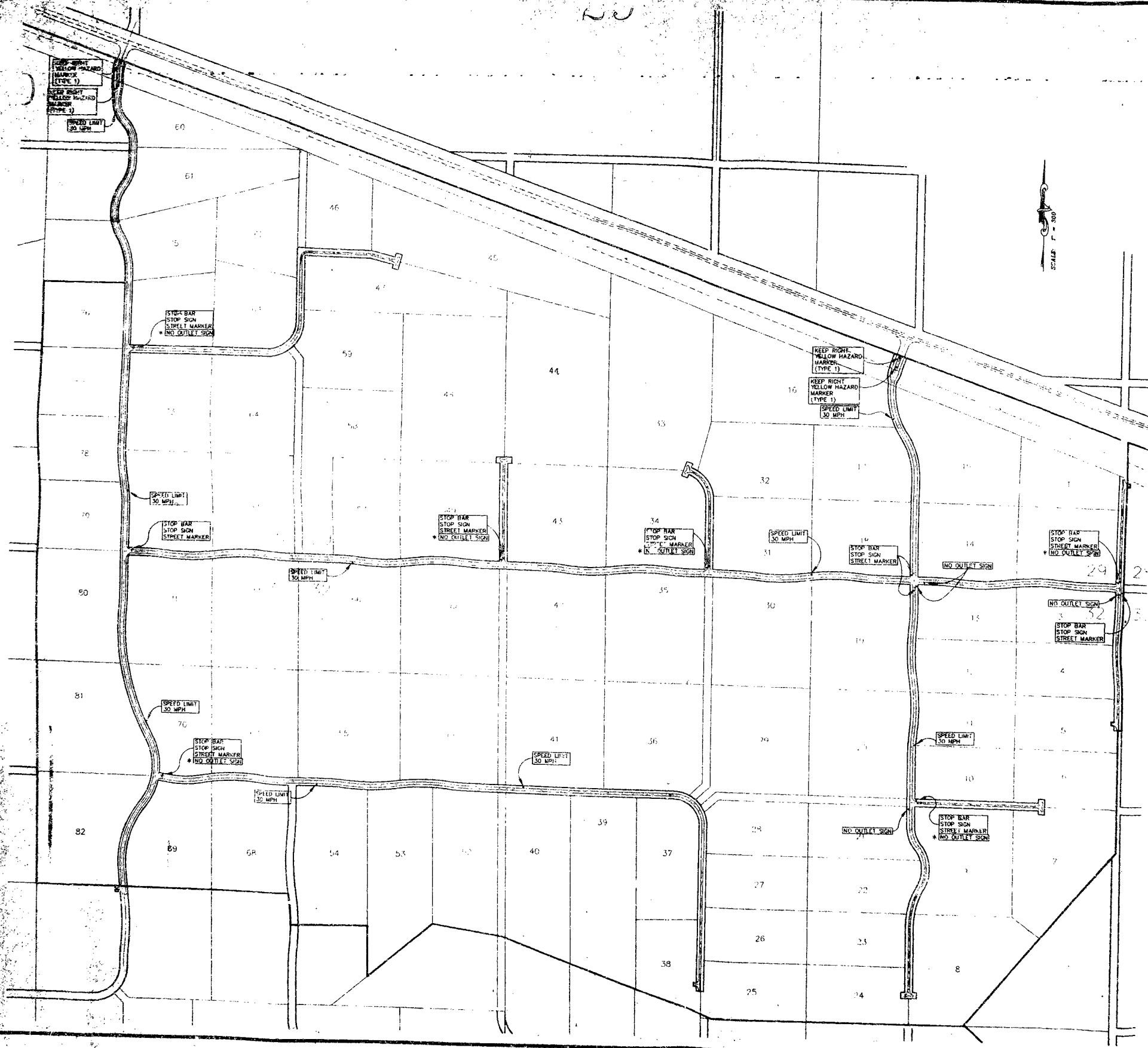




- NOTES:
1. ALL CONSTRUCTION WITHIN S.R. 84 R/W TO BE IN ACCORDANCE WITH LATEST F.D.O.T. ROADWAY DESIGN STANDARDS. SAFETY PROCEDURES TO BE ADHERED TO PER F.D.O.T. UTILITY ACCOMMODATION GUIDE.
  2. ALL SIGNS, POLES, MAILBOXES, LANDSCAPING, DRIVEWAYS AND OTHER ENCUMBRANCES OF THE R/W NOT SHOWN ON THIS PLAN TO BE REPLACED OR RESTORED TO ORIGINAL CONDITION UPON COMPLETION OF CONSTRUCTION.
  3. ALL DISTURBED AREAS WITHIN THE R/W TO BE REGRADDED PER F.D.O.T. SPECIFICATIONS.
  4. CONTRACTOR TO NOTIFY "CADDY", MOPRO AND F.D.O.T. 48 HOURS PRIOR TO START OF CONSTRUCTION.
  5. ALL REQUIRED AND EXISTING ROADWAY STRIPING, PAVEMENT MARKS AND RAISED PAVEMENT MARKERS TO BE THE RESPONSIBILITY OF THE PERMITTEE.
  6. PROPOSED STRIPING TO MATCH EXISTING, AND BE COORDINATED WITH F.D.O.T. MAINTENANCE OFFICE.
  7. STRIPING TO BE THERMOPLASTIC.

\* NEW STYLE "NO OUTLET" SIGNS TO BE ATTACHED TO STOP SIGN POST (DOUBLE-SIDED)

NO OUTLET →

**4317076 00**

**42**

**SIGNAGE PLAN**  
FOR  
**FOXWOOD**  
LOCATED IN  
SECTION 29-32, TOWNSHIP 36 SOUTH, RANGE 20 EAST  
MANATEE COUNTY, FLORIDA

*Doller, Majors & Steyer, Inc.*  
Engineers, Planners, Surveyors  
and Environmental Consultants  
P.O. Box 1000, Manatee County, Florida 34458  
DESIGNED BY: [Signature]  
DRAWN BY: [Signature]

REVISIONS

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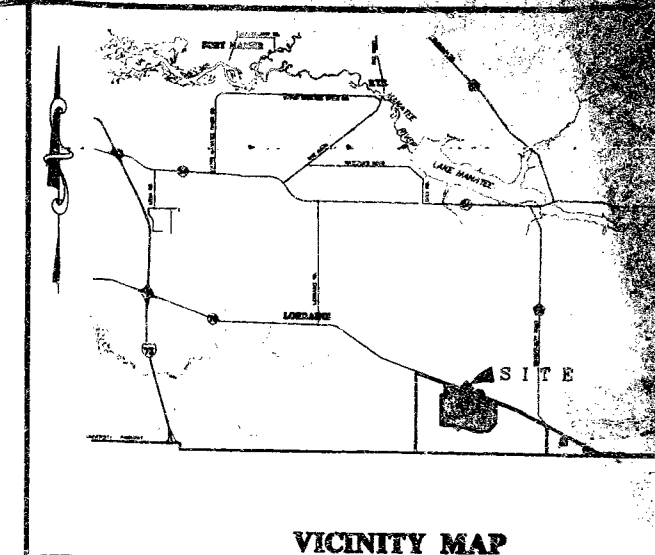
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SOUTHWEST FLORIDA WATER  
MANAGEMENT DISTRICT  
PERMITTED CONSTRUCTION  
DRAWINGS

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# SITE WORK CONSTRUCTION PLANS

TO SERVE

## FOXWOOD

LOCATED IN

SECTION 29 - 32, TOWNSHIP 35 SOUTH, RANGE 20 EAST  
MANATEE COUNTY, FLORIDA

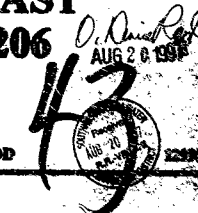
PREPARED FOR:  
RANCH PROPERTY PARTNERS, LTD.  
by RANCH PROPERTY INC.  
3651 CORTEZ ROAD W., SUITE 300  
BRADENTON, FLORIDA 34210  
TELE. (941) 753-1616

PREPARED BY:  
ZOLLER, NAJJAR & SHROYER, INC.  
P.O. BOX 9448  
201 5TH AVENUE DRIVE EAST  
BRADENTON, FLORIDA 34206  
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Audit 4317076.00



FOXWOOD



## DRAINAGE AND GRADING

1. ALL CONSTRUCTION IS TO BE STAKED IN THE FIELD BY OR UNDER THE SUPERVISION OF A FLORIDA REGISTERED LAND SURVEYOR.
2. THE CONTRACTOR IS TO PROVIDE THE ENGINEER OF RECORD WITH REPRODUCIBLE RECORD DRAWINGS SHOWING ALL IMPROVEMENT LOCATIONS AND ELEVATIONS IN ACCORDANCE WITH LATEST MANATEE COUNTY PLANNING, FORESTING AND INSPECTIONS (LWPI) AND SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT (SWFWMD) STANDARDS. THE CONTRACTOR SHALL ALSO PROVIDE TWO SETS, GROUND AND SEALED BY A PROFESSIONAL LAND SURVEYOR, OF THE RECORD DRAWINGS TO THE ENGINEER OF RECORD. THESE RECORD DRAWINGS SHALL BE CERTIFIED TO THE OWNER, APPROPRIATE GOVERNMENTAL AGENCIES AND TO TOLLER, NAFER & SHRYVER, INC.

IF CONSTRUCTION STAKEOUT IS PROVIDED BY THE OWNER, THE CONTRACTOR SHALL ACCURATELY RECORD THE LOCATION OF ALL WORK THAT MAY SUBSEQUENTLY BECOME CONCEALED OR INACCESSIBLE, AS WELL AS ANY OR EXPOSED UNDERGROUND FACILITIES AS NECESSARY TO FACILITATE THE PREPARATION OF THE RECORD DRAWINGS BY THE OWNER AND PROVIDE SAID INFORMATION TO THE OWNER.

3. TO PREVENT SEDIMENTARY RUNOFF DURING CONSTRUCTION, STAKED HAY BALES, STAKED SILT BARRIERS, OR INLET DEBRIS CONTROL SCREENS ARE TO BE PLACED AT STORM INLETS, OUTFALL LOCATIONS AND ADJACENT PROPERTY LINES AS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SEDIMENTATION BARRIERS IN A WORKING MANNER FOR THE DURATION OF CONSTRUCTION AND SHOULD BE CHECKED DAILY. SITUATION ACCUMULATIONS GREATER THAN THE LESSER OF 12 INCHES OR ONE-HALF OF THE DEPTH OF THE SEDIMENTATION BARRIER SHALL BE IMMEDIATELY REMOVED AND REPLACED IN UPLAND AREAS. IN ADDITION TO SITUATION ACCUMULATIONS GREATER THAN THE LESSER OF 12 INCHES OR ONE-HALF OF THE DEPTH OF THE SEDIMENTATION BARRIER, THE CONTRACTOR SHALL PERFORM DAILY SITE INSPECTIONS FOR POTENTIAL EROSION PROBLEMS. IF PROBLEMS OCCUR, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING APPROPRIATE EROSION CONTROL MEASURES IMMEDIATELY. STORMWATER TREATMENT FACILITIES INCLUDING OUTFALL PER DETAIL ARE TO BE CONSTRUCTED EARLY IN SITE DEVELOPMENT, WITH NO OFF-SITE UNTREATED RUNOFF OCCURRING DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING TEMPORARY EROSION CONTROL DEVICES FOLLOWING COMPLETION OF ALL CONSTRUCTION AND FINAL STABILIZATION.

4. ALL UTILITIES AND/OR DRAINAGE SHOWN AS EXISTING WERE DERIVED FROM THE BEST AVAILABLE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACTUAL LOCATION, SIZE, TYPE AND AMOUNT OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR TO NOTIFY "CANDY" MORRIS AND FRANK MORRIS MINIMUM PRIOR TO START OF CONSTRUCTION FOR POSSIBLE UTILITY LOCATIONS NOT SHOWN ON PLANS.

5. ALL PIPE LENGTHS SHOWN ON PLAN VIEW ARE TO THE END OF THE INTERIOR END SECTION. REFER TO INTERIOR END SECTION DETAIL FOR LENGTH OF PIPE TO BE INCLUDED IN PRICE FOR INTERIOR END SECTION.

6. RIGHT OF WAY USE PERMIT TO BE OBTAINED BY THE CONTRACTOR FOR OFF-SITE CONSTRUCTION.

7. THE CONTRACTOR SHALL VERIFY TOPOGRAPHY AND SATISFY HIMSELF AS TO THE EXTENT OF FILL NECESSARY TO ACHIEVE FINISHED GRADE PRIOR TO AWARD OF CONTRACT. THERE SHALL BE NO CLAIM FOR EXTRAS NOT-WITHSTANDING SITE PLAN REMARKS PROLIFICATED SUBSEQUENT TO AWARD OF CONTRACT.

THE CONTRACTOR IS RESPONSIBLE FOR ESTIMATING AND CALCULATING ALL CUT AND FILL QUANTITIES. PRIOR TO BID SUBMISSION THE CONTRACTOR SHALL CONDUCT ANY ADDITIONAL SURVEYS AND SOIL TESTS HE DEEMS NECESSARY TO CALCULATE THE CUT AND FILL QUANTITIES PROPERLY. ADDITIONAL SURVEYS AND TESTS MADE BY THE CONTRACTOR SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.

8. ALL BIDDERS ARE HEREBY ADVISED THAT ALL EXCAVATION ON THIS PROJECT MUST COMPLY WITH FLORIDA STATUTE 90-39 "TRENCH SAFETY ACT" AND THAT THE COST OF COMPLIANCE IS TO BE INCLUDED IN HIS BASE BID. THE BIDDER SHALL INDICATE ON THE BID FORM THE COSTS ASSOCIATED WITH COMPLIANCE.

9. SUITABLE FILL MATERIAL FROM STORMWATER FACILITIES EXCAVATION SHALL BE UTILIZED FOR PROJECT FILL PER GRADING SPECIFICATIONS. UNSUITABLE MATERIAL SHALL BE PLACED IN OPEN AREAS ONLY AS DIRECTED BY THE PROJECT ENGINEER AND SOILS ENGINEER.

10. REFER TO GRADING DETAIL SHEETS FOR CROSS SECTION DETAILS.

11. REFER TO CONSTRUCTION TECHNICAL SPECIFICATIONS FOR COMPACTION REQUIREMENTS, GRASSING/SODDING REQUIREMENTS, AND PAVING CONSTRUCTION MATERIAL SPECIFICATIONS.

12. ALL EASEMENTS AS SHOWN WITHIN THE PROJECT BOUNDARY LIMITS ARE TO BE CONSIDERED PUBLIC (UNLESS OTHERWISE STATED). EASEMENTS TO BE GRANTED IN CONNECTION WITH RECORD PLAT PROCESSING.

13. ALL FILL AREAS ARE TO BE CONSTRUCTED IN 12" MAXIMUM LIFTS.

14. ALL PROPOSED CONSTRUCTION IS TO MEET OR EXCEED LATEST APPLICABLE MANATEE COUNTY CONSTRUCTION STANDARDS AND IS TO MEET ENGINEER'S SPECIFICATIONS. ALL PROPOSED CONSTRUCTION IS TO BE PUBLICLY OWNED AND OPERATED. RIGHT OF WAY AND OTHER OFF-SITE IMPROVEMENTS SHALL BE PUBLICLY OWNED AND MAINTAINED FOLLOWING COMPLETION AND ACCEPTANCE.

15. THE CONTRACTOR IS TO COORDINATE THE LOCATION AND ELEVATION OF ALL FPL, GTE AND IRRIGATION SERVICE SLEEVES WITH RESPECTIVE AGENCY PRIOR TO CONSTRUCTION.

16. THE CONTRACTOR IS TO ASSURE HIMSELF THAT ALL UNDERGROUND UTILITIES AND STORM SEWER IS CONSTRUCTED, TESTED AND OPERATIONAL PRIOR TO ANY ROADWAY CONSTRUCTION.

17. ALL PROPOSED ELECTRICAL AND COMMUNICATION SERVICES ARE TO BE "TYPED" AFTER "PHONE" AS DIRECTED BY RESPECTIVE AGENCY.

18. CONTRACTOR TO OBTAIN APPLICABLE PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

19. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND ISSUANCE OF ALL COMMENCEMENT AND/OR PROGRESS NOTICES TO GOVERNMENTAL AGENCIES DURING THE COURSE OF CONSTRUCTION, AS REQUIRED FOR INSPECTION, TESTING AND TRACKING PER APPLICABLE AGENCY PERMIT CONDITIONS.

## CLEARING AND GRUBBING NOTES

1. EROSION CONTROL PREVENTIVE METHODS, SILT SCREENING AND/OR HAY BALES, TO BE IN PLACE PRIOR TO COMMENCEMENT OF EARTHWORK CONSTRUCTION TO MINIMIZE EROSION AND SEDIMENTARY RUNOFF. THE CONTRACTOR SHALL PERFORM DAILY SITE INSPECTIONS FOR ANY POTENTIAL EROSION PROBLEMS. IF ANY POTENTIAL EROSION PROBLEMS ARE ENCOUNTERED, OR HAVE OCCURRED, THE CONTRACTOR SHALL INSTALL PROPER EROSION CONTROL MEASURES IMMEDIATELY. STORMWATER TREATMENT FACILITIES ARE TO BE CONSTRUCTED EARLY IN SITE DEVELOPMENT, WITH NO UNTREATED RUNOFF OFF-SITE OCCURRING DURING CONSTRUCTION.

2. EROSION CONTROL AND FUGITIVE PARTICULATE ABATEMENT PLANS ARE THE RESPONSIBILITY OF THE CONTRACTOR REFER TO EROSION CONTROL PLAN FOR ADDITIONAL INFORMATION.

3. WETLAND BOUNDARY AND BUFFER AREAS TO BE CLEARLY DELINEATED ON SITE PRIOR TO INITIAL CLEARING AND GRADING ACTIVITIES. THE DELINEATION SHALL ENDURE THROUGHOUT THE CONSTRUCTION PERIOD, AND BE READILY ACCESSIBLE TO CONSTRUCTION PERSONNEL. THE WETLAND (ADDITIONAL) AND BUFFER AREAS ARE TO BE IDENTIFIED IN THE FIELD WITH STAKES AND FLAGGED STRING LINES (STRING LINE 2' ABOVE GRADE WITH FLAGGING AT 10' INTERVALS) PRIOR TO COMMENCEMENT OF CLEARING AND GRUBBING. THE STRING LINE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL STAY OUT OF THE EXISTING WETLAND AND BUFFER AREAS, EXCEPT WHERE PLANS CALL OUT SPECIFIC WORK TO BE PERFORMED.

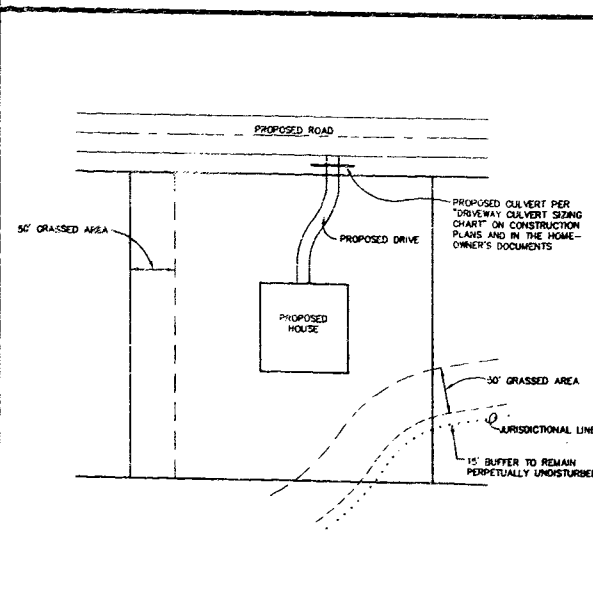
4. ALL EXISTING TREES AND BRUSH DESIGNATED FOR REMOVAL ARE TO BE CLEARED AND DISPOSED OF OFF-SITE, OR BURNED ON-SITE IF APPROVED BY THE DISTRICT FIRE DEPARTMENT AND COUNTY HEALTH DEPT.

5. SODDING AND/OR GRASSING TO BE COMPLETED IMMEDIATELY UPON COMPLETION OF FRESH GRADING. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE FUGITIVE PARTICULATE ABATEMENT PLAN (DUST CONTROL).

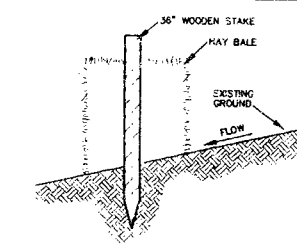
6. TOPOGRAPHIC AND PROPERTY SURVEYS GIVING LOT SIZE, GROUND ELEVATIONS, OBSTRUCTIONS ON SITE, LOCATION AND DEPTHS OF SEWERS, CONDUITS, PIPES, EXISTING STRUCTURES, CURBS, PAVEMENTS, TRACTS, AND SOIL BORING DATA GIVING THE NATURE OF GROUND AND SUB-SURFACE CONDITIONS HAVE BEEN OBTAINED FROM RELIABLE SOURCES. THE ACCURACY OF THIS DATA IS NOT GUARANTEED, AND IS FURNISHED SOLELY AS AN ACCOMMODATION TO THE CONTRACTOR. USE OF THIS DATA SHALL BE MADE AT THE CONTRACTOR'S DISCRETION. NO ADDITIONAL COMPENSATION WILL BE GRANTED DUE TO CONTRACTOR'S LACK OF KNOWLEDGE OF SITE CONDITIONS. PRIOR TO BID SUBMISSION, CONDUCT ANY ADDITIONAL SURVEYS AND SOIL TESTS YOU MAY DEEM NECESSARY TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED.

7. CONTRACTOR IS RESPONSIBLE FOR ESTIMATING AND CALCULATING ALL CUT AND FILL QUANTITIES. PRIOR TO BID SUBMISSION THE CONTRACTOR SHALL CONDUCT ANY ADDITIONAL SURVEYS AND SOIL TESTS HE DEEMS NECESSARY TO CALCULATE THE CUT AND FILL QUANTITIES PROPERLY. ADDITIONAL SURVEYS AND TESTS MADE BY THE CONTRACTOR SHALL BE MADE AT NO COST TO THE OWNER.

8. PROPOSED ROADWAY RIGHT-OF-WAY AREAS TO BE CLEARED OF ALL TREES AND BRUSH, AND STRIPPED TO A MINIMUM DEPTH OF 8" AND/OR BOTTOM OF ORGANIC LAYER.

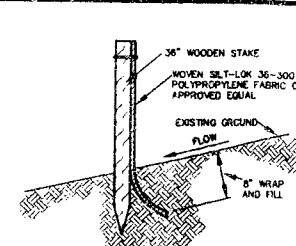


TYPICAL LOT LAYOUT



STAKED HAY BALE DETAIL

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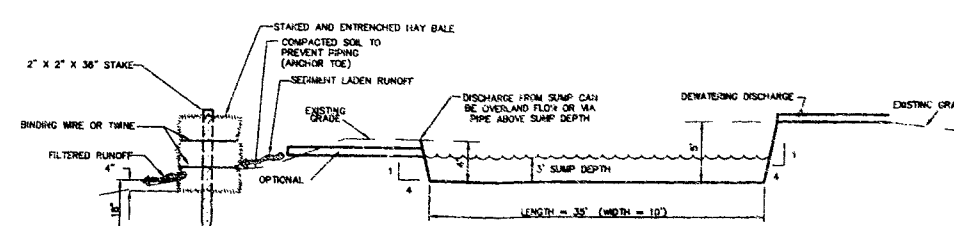


STAKED SILT BARRIER DETAIL

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## EROSION CONTROL NOTES:

1. TO PREVENT SEDIMENTARY RUNOFF DURING CONSTRUCTION, STAKED HAYBALES, STAKED SILT SCREENS OR INLET DEBRIS CONTROL SCREENS ARE TO BE PLACED AT STORM INLETS, OUTFALL LOCATIONS AND ADJACENT PROPERTY LINES AS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SEDIMENTATION BARRIERS IN A WORKING MANNER FOR THE DURATION OF CONSTRUCTION AND SHOULD BE CHECKED DAILY. SITUATION ACCUMULATIONS GREATER THAN THE LESSER OF 12 INCHES OR ONE-HALF OF THE DEPTH OF THE SEDIMENTATION BARRIER SHALL BE IMMEDIATELY REMOVED AND REPLACED IN UPLAND AREAS. IN ADDITION TO SITUATION ACCUMULATIONS GREATER THAN THE LESSER OF 12 INCHES OR ONE-HALF OF THE DEPTH OF THE SEDIMENTATION BARRIER, THE CONTRACTOR SHALL PERFORM DAILY SITE INSPECTIONS FOR POTENTIAL EROSION PROBLEMS. IF PROBLEMS OCCUR, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING APPROPRIATE EROSION CONTROL MEASURES IMMEDIATELY. STORMWATER TREATMENT FACILITIES INCLUDING OUTFALL PER DETAIL ARE TO BE CONSTRUCTED EARLY IN SITE DEVELOPMENT, WITH NO OFF-SITE UNTREATED RUN-OFF OCCURRING DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING TEMPORARY EROSION CONTROL DEVICES FOLLOWING COMPLETION OF ALL CONSTRUCTION AND FINAL STABILIZATION.
2. CONTRACTOR TO KEEP CONSTRUCTION ACTIVITIES AND EQUIPMENT TO A MINIMUM AT OUTFALL LOCATIONS WHICH DISCHARGE TO EXISTING JURISDICTIONAL AREAS. FLOATING OR STAKED TURBIDITY BARRIERS BE USED IN LIEU OF STAKED HAYBALES/SILT SCREENS WHERE WARRANTED.
3. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN PLACE UNTIL THE SITE HAS BEEN STABILIZED AND REVEGETATED.
4. CONSTRUCTION METHOD AND MATERIALS TO BE IN ACCORDANCE WITH SECTION 104-6 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION SPECIFICATIONS.
  - a) HAY BALES MUST BE BUTTED CLOSE TOGETHER AND HAVE NO GAPS TO ALLOW FLOW TO PASS THROUGH WITHOUT BEING FILTERED.
  - b) JOINTS OF THE FILTER FABRIC MUST BE OVERLAPPED AND PROPERLY CONNECTED TO PREVENT ANY OPENING FROM OCCURRING.



SUMP DETAIL FOR POND CONSTRUCTION WHERE USED TO GENERATE FILL

NOT TO SCALE

## NOTES:

1. CONTRACTOR TO USE THIS SUMP EROSION DETAIL WHERE POND EXCAVATION (WITHIN LOTS) IS TO OCCUR TO GENERATE FILL FOR THE ROADWAYS.
2. CONTRACTOR TO INSURE THAT DRAINAGE ACTIVITIES DO NOT CAUSE EROSION AND THAT SUMP IS UTILIZED TO ALLOW FOR PARTICLE SEDIMENTATION.
3. SEDIMENT SLIMPS AND DISCHARGE EROSION CONTROL ARE TO BE IMPLEMENTED BEFORE ANY DRAINAGE ACTIVITIES OR EARTHWORK CONSTRUCTION. STORMWATER TREATMENT FACILITIES INCLUDING OUTFALLS PER DETAIL ARE TO BE CONSTRUCTED AFTER SEDIMENT SLIMPS.
4. SUMP SIZE BASED UPON AN ASSUMED DRAINAGE DISCHARGE OF 5 cfs. CONTRACTOR IS TO NOTIFY ENGINEER IF GREATER DISCHARGE IS PROPOSED SO SUMP SIZE CAN BE RECALCULATED PER SUMPING SECTION 12.2.4.6.
5. DRAINAGE WITHDRAWALS ARE TO BE FROM THE TOP OF THE WATER AREAS TO ALLOW FOR THE ADEQUATE SETTLING OF PARTICLES AND IMPROVE WATER QUALITY.
6. THE DRAIN WITHDRAWAL PIPES SHOULD BE 1.5 INCHES. PIPES GREATER THAN 1.5 INCHES WILL REQUIRE A 1' DRAIN PERMIT WHICH IS THE RESPONSIBILITY OF THE CONTRACTOR.
7. CONTRACTOR IS TO NOTIFY SHEDDING OF ANY MODIFICATIONS PROPOSED BY THE CONTRACTOR TO THE DRAINAGE PLAN. CONTRACTOR IS RESPONSIBLE FOR PREPARATION OF ANY REQUIRED PLANS AND PROCESSING OF SAME.
8. DISCHARGE PUMP SLIMPS SHOULD MAXIMIZE OVERLAND FLOW PRIOR TO ENTERING OUTFALL. STAKED HAYBALES WILL BE USED TO MINIMIZE SITUATION RUNOFF. CONTRACTOR IS RESPONSIBLE FOR UTILIZING ADEQUATE HAYBALES AT DISCHARGE LOCATIONS TO PREVENT SCOURING.
9. SEE PLAN VIEWS FOR EASEMENTS, EXISTING WETLAND LIMITS, ETC.

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TEL: 888-222-2222  
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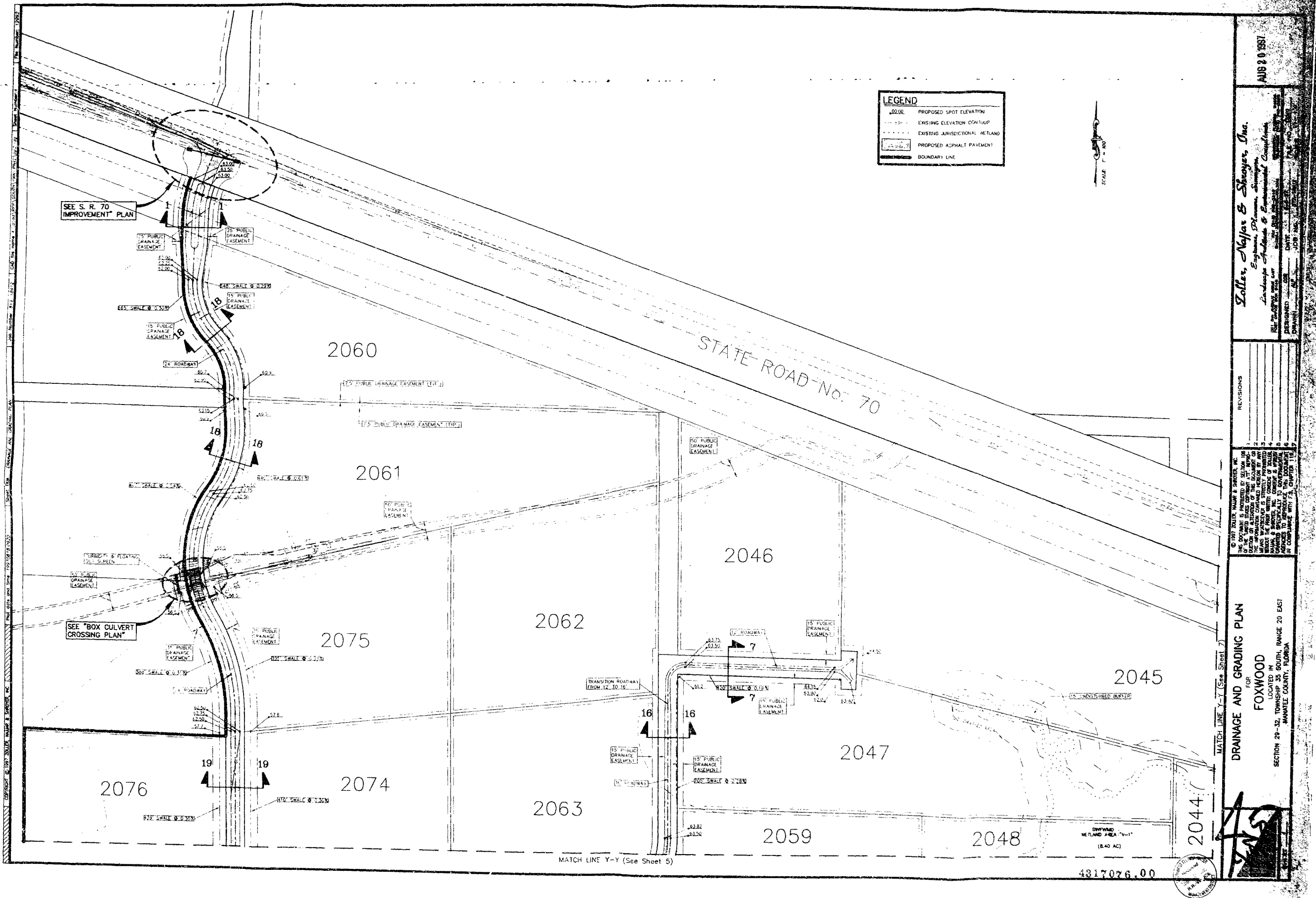
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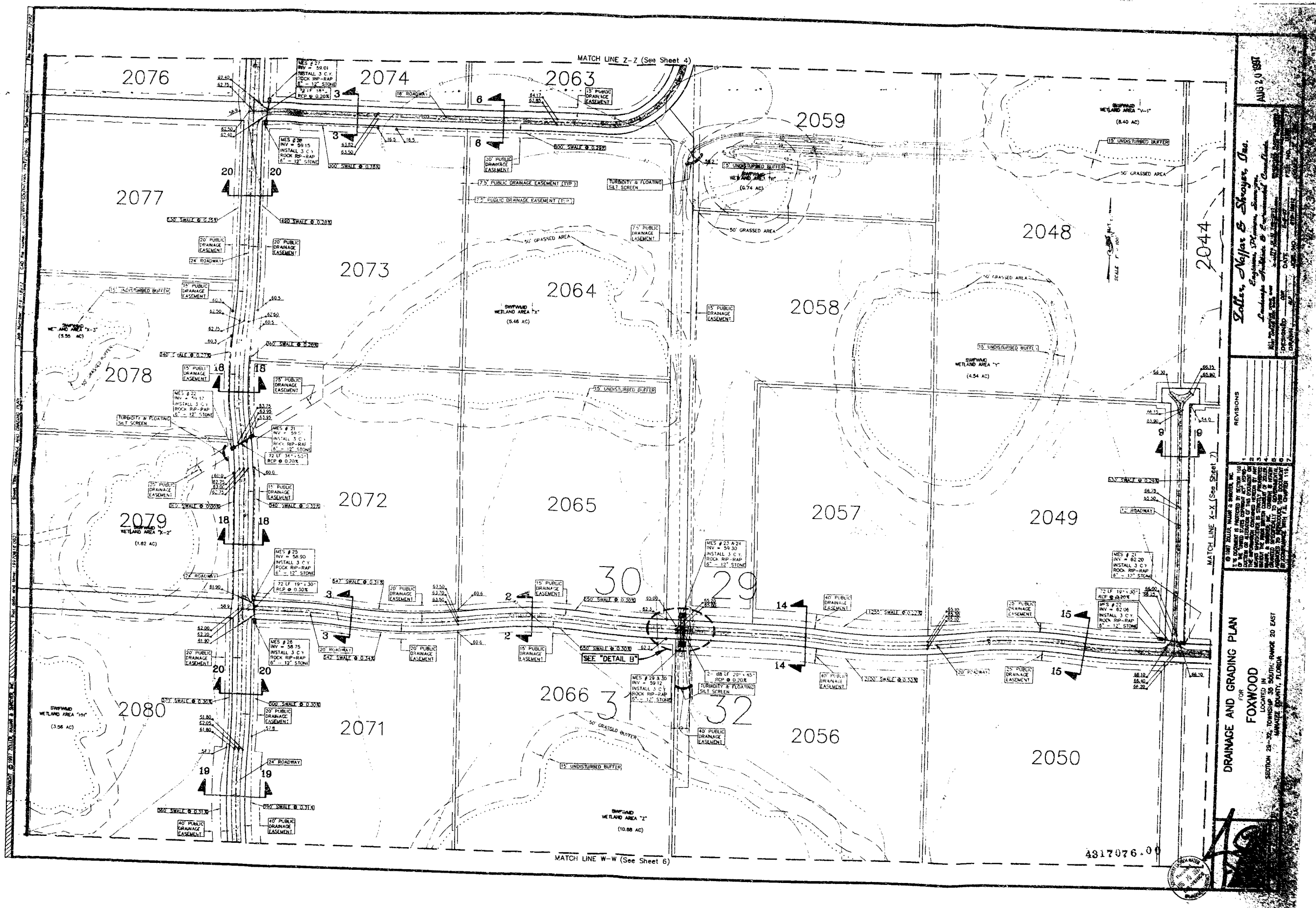
GENERAL NOTES & EROSION CONTROL DETAILS  
FOR  
FOXWOOD  
LOCATION: 20-12, TOWN OF SOUTH, RANGE 20 E-17  
MANATEE COUNTY, FLORIDA

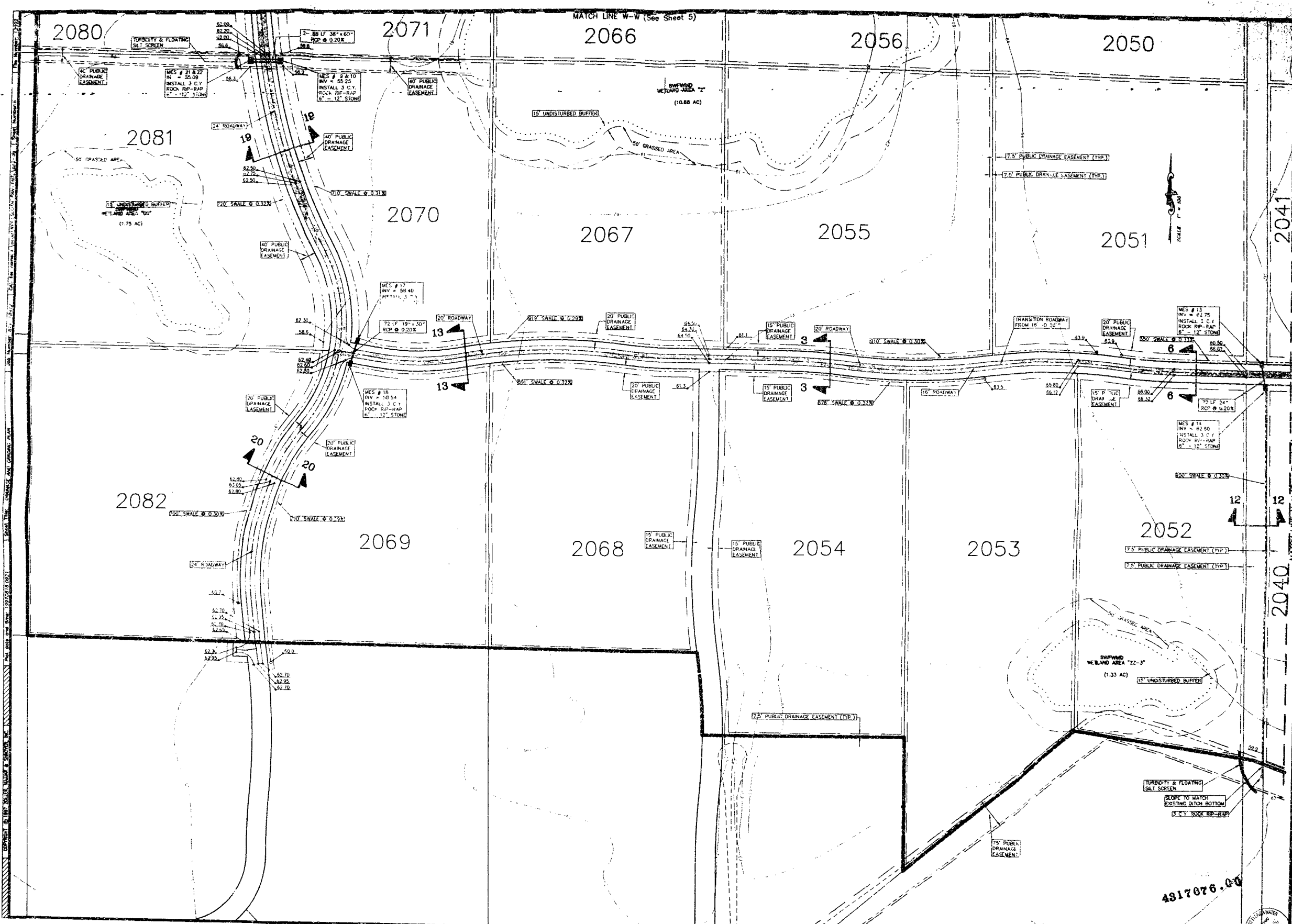
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**DRAINAGE AND GRADING PLAN**  
FOR  
**FOXWOOD**  
LOCATED IN  
SECTION 29-32, TOWNSHIP 30 SOUTH, RANGE 20 EAST  
HARDEE COUNTY, FLORIDA

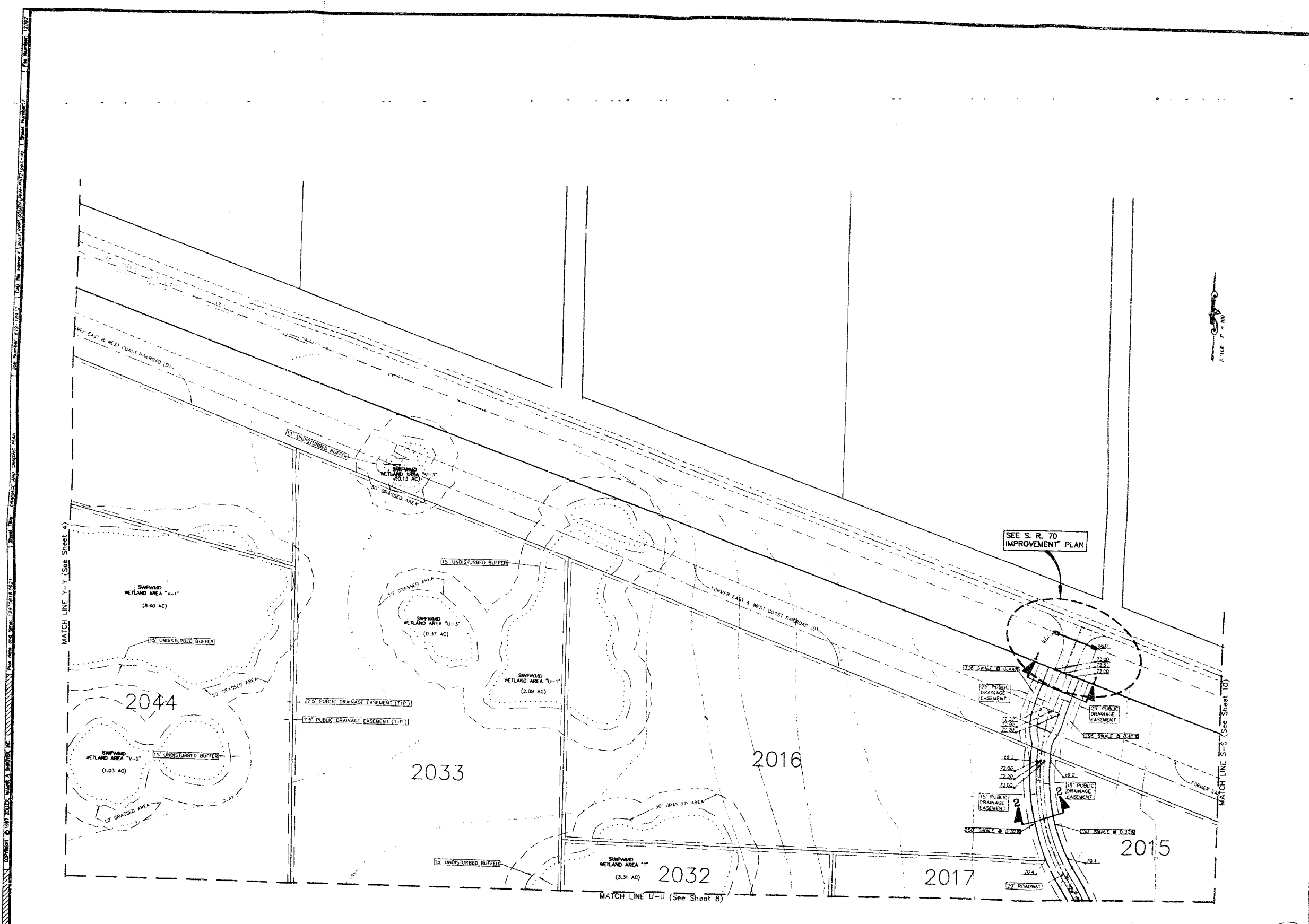
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**CHECKED BY:** [Signature]  
**DATE:** [Date]

**4817076.00**

**Roller, Naffar & Shroyer, Inc.**  
Engineers, Planners, Surveyors  
1000 S. W. 10th Ave., Suite 100  
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TEL: (305) 555-1111  
FAX: (305) 555-1112



*John, Naylor & Singer, Inc.*  
 Engineers, Planners, Surveyors  
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 Fax: (305) 555-1235  
 E-mail: jns@jnsinc.com

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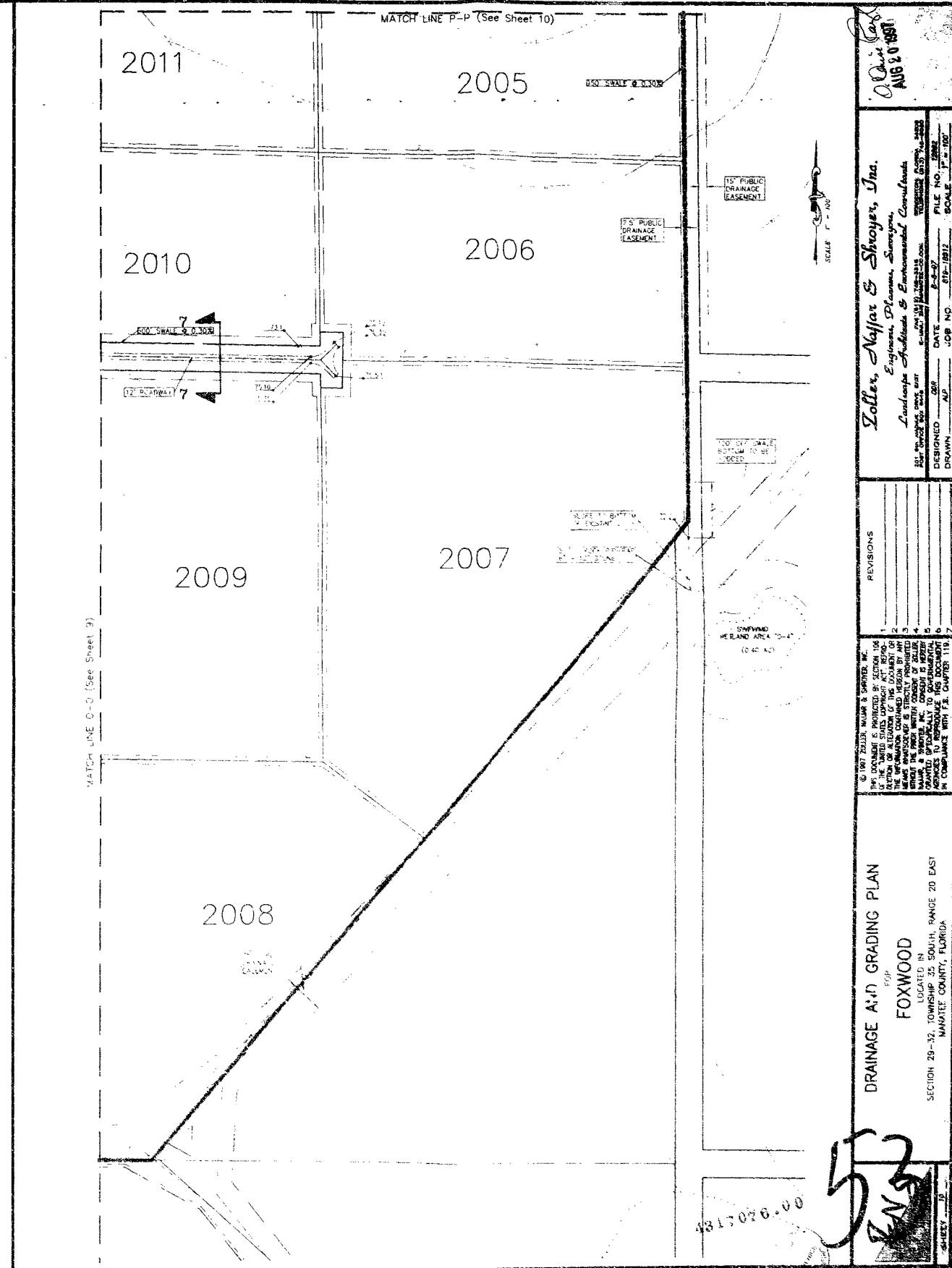
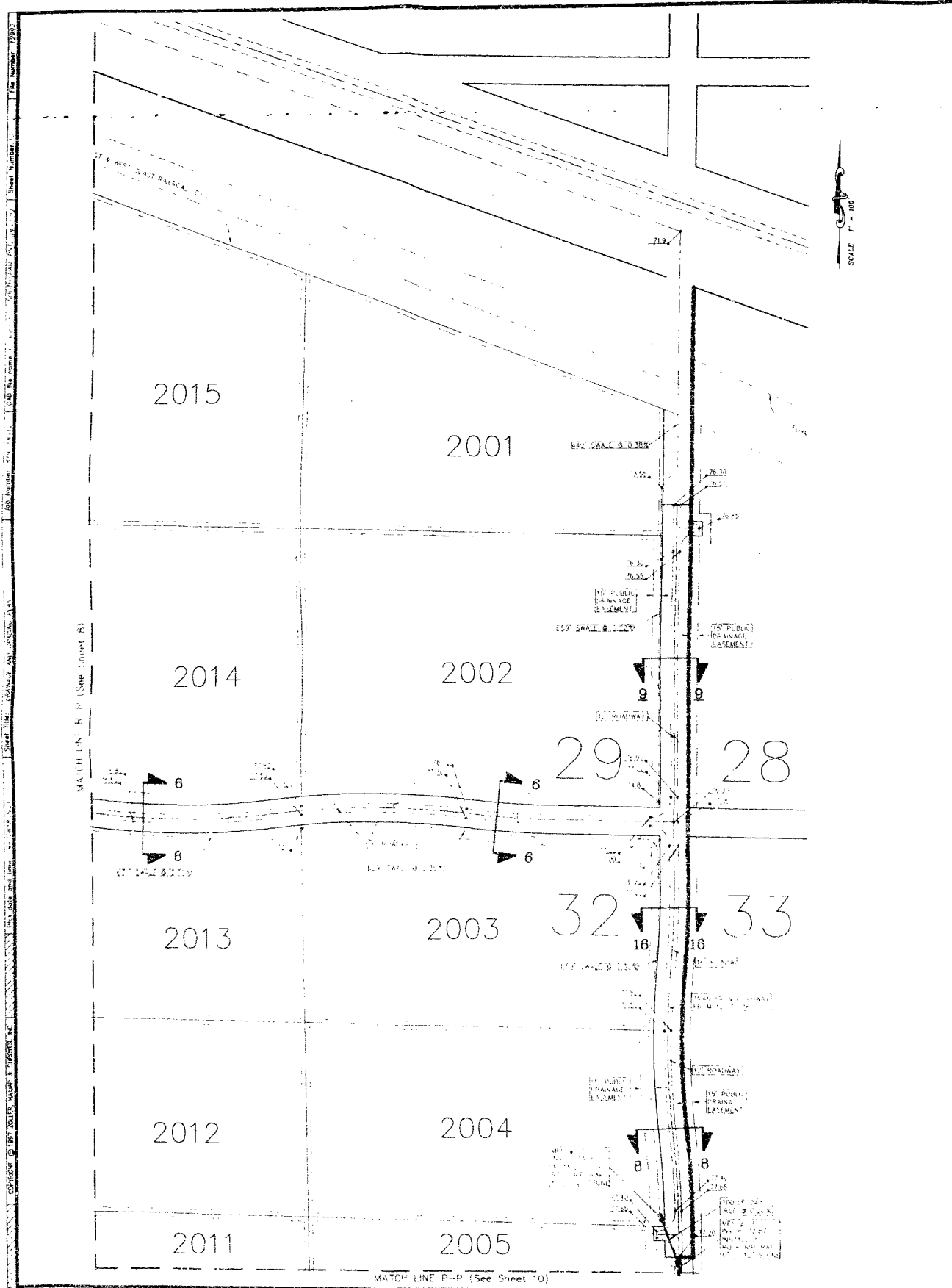
**DRAINAGE AND GRADING PLAN**  
 FOR  
**FOXWOOD**  
 LOCATED IN  
 SECTION 29-32, TOWNSHIP 35 SOUTH, RANGE 20 EAST  
 BROWARD COUNTY, FLORIDA

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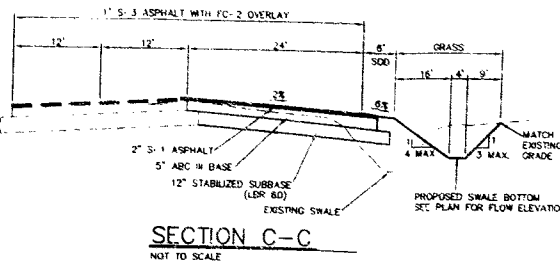
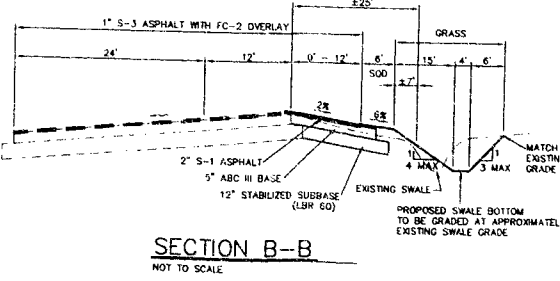
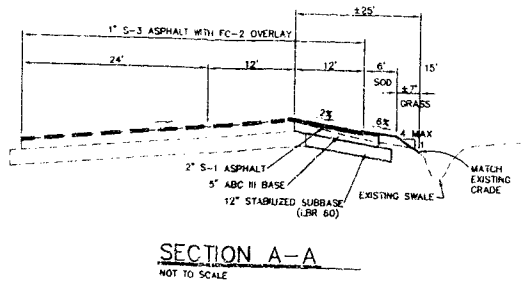
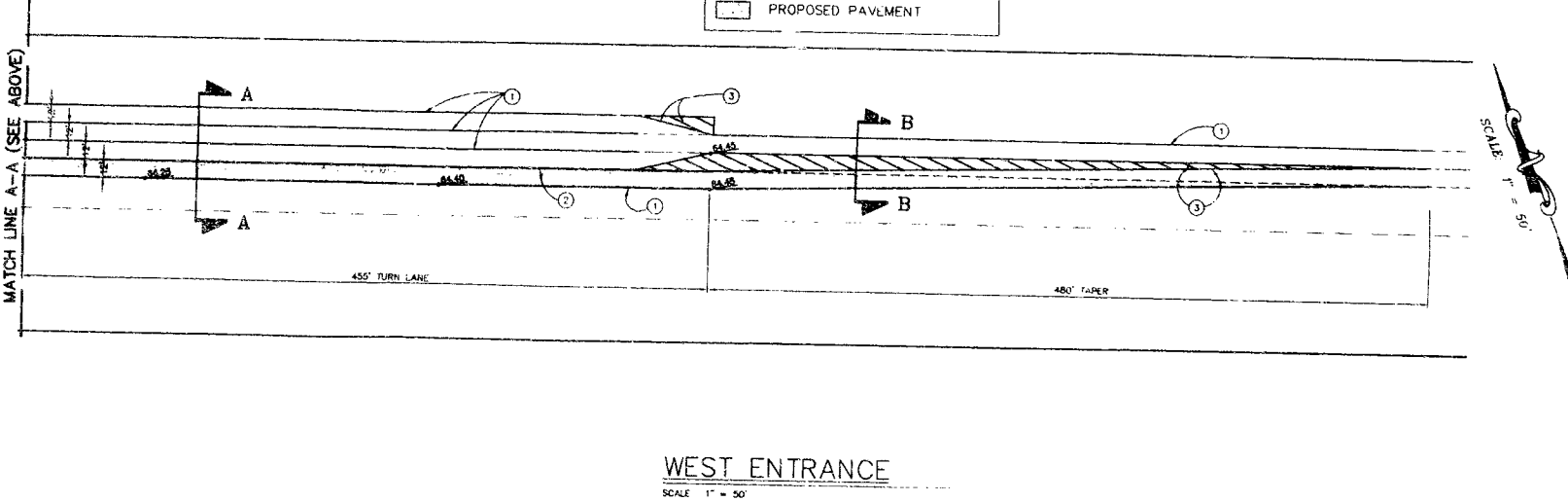
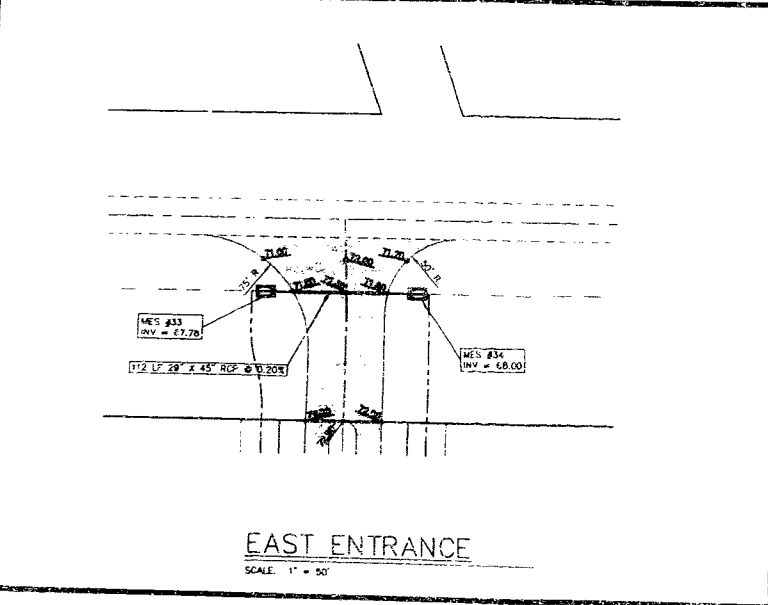
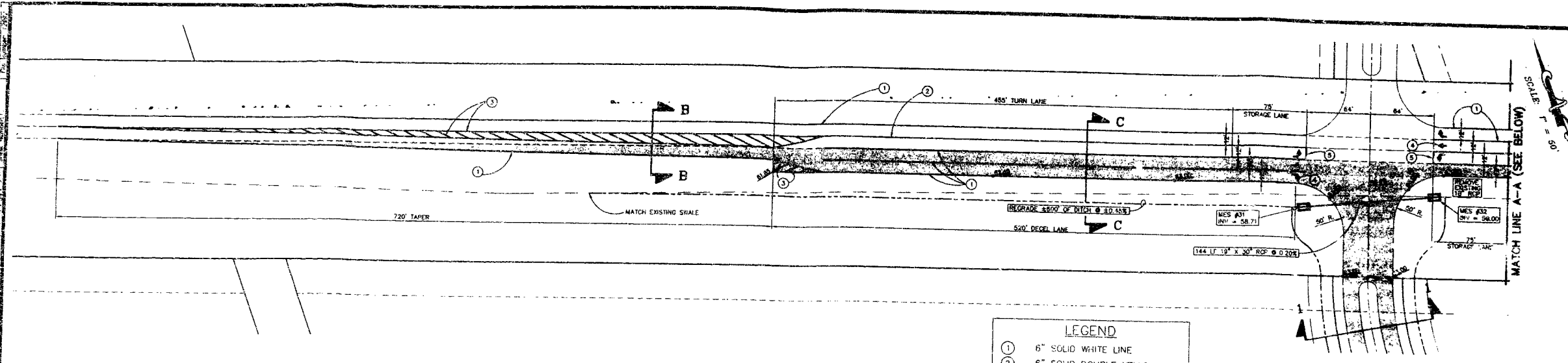
**DRAINAGE A-D GRADING PLAN**  
**FOXWOOD**  
 LOCATED IN SECTION 29-32, TOWNSHIP 32 SOUTH, RANGE 20 EAST, MANATEE COUNTY, FLORIDA

**Revisions**

| NO. | DATE   | DESCRIPTION      |
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| 1   | 8-2-97 | DESIGNED         |
| 2   | 8-2-97 | DRAWN            |
| 3   | 8-2-97 | FILE NO. 1988    |
| 4   | 8-2-97 | SCALE 1" = 100'  |
| 5   | 8-2-97 | JOB NO. 819-1812 |
| 6   | 8-2-97 | FILE NO. 1988    |
| 7   | 8-2-97 | SCALE 1" = 100'  |

**Designer: Zoller, Naylor & Shroyer, Inc.**  
 Engineers, Planners, Surveyors  
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 1000 1st St. N., Suite 100, St. Petersburg, FL 33701  
 TEL: 727-325-1100 FAX: 727-325-1101  
 E-MAIL: zns@znsinc.com  
 AUG 20 1997

**52**  
**EN**



**Zeller, Nijjar & Shroyer, Inc.**  
 Engineers, Planners, Surveyors  
 2140 S. Highway 101, Suite 100  
 Fort Worth, Texas 76104  
 PHONE: (817) 338-1111  
 FAX: (817) 338-1112  
 E-MAIL: zns@znsinc.com  
 WWW: www.znsinc.com

**REVISIONS**

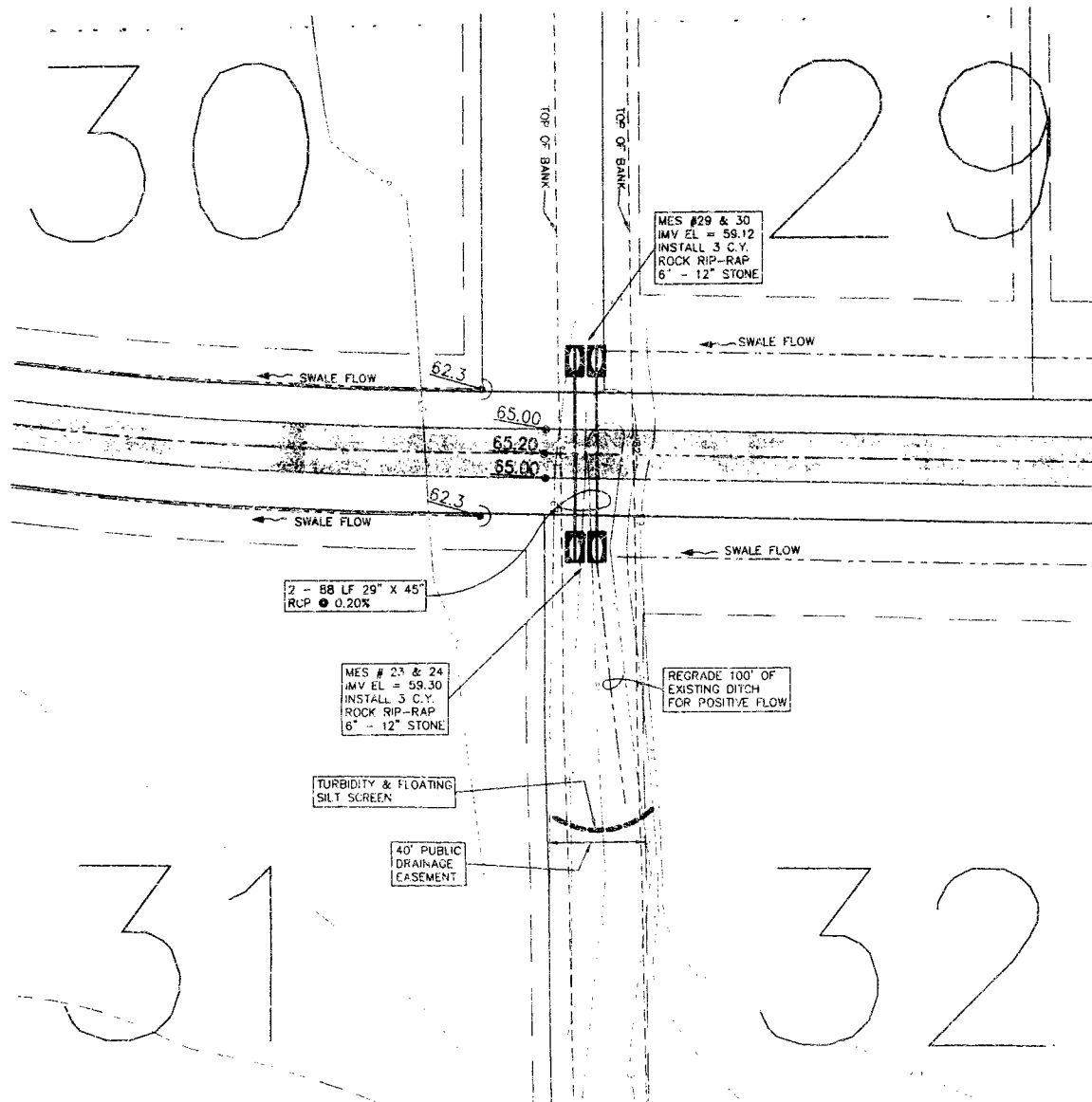
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|-----|----------|--------------------|
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| 2   | 08/17/00 | ISSUED FOR BIDDING |
| 3   | 08/17/00 | ISSUED FOR BIDDING |
| 4   | 08/17/00 | ISSUED FOR BIDDING |
| 5   | 08/17/00 | ISSUED FOR BIDDING |
| 6   | 08/17/00 | ISSUED FOR BIDDING |
| 7   | 08/17/00 | ISSUED FOR BIDDING |

**S.R. 70 IMPROVEMENTS FOR FOXWOOD**  
 LOCATED IN SECTION 28-32, TOWNSHIP 35 SOUTH, RANGE 20 EAST  
 MANATEE COUNTY, FLORIDA

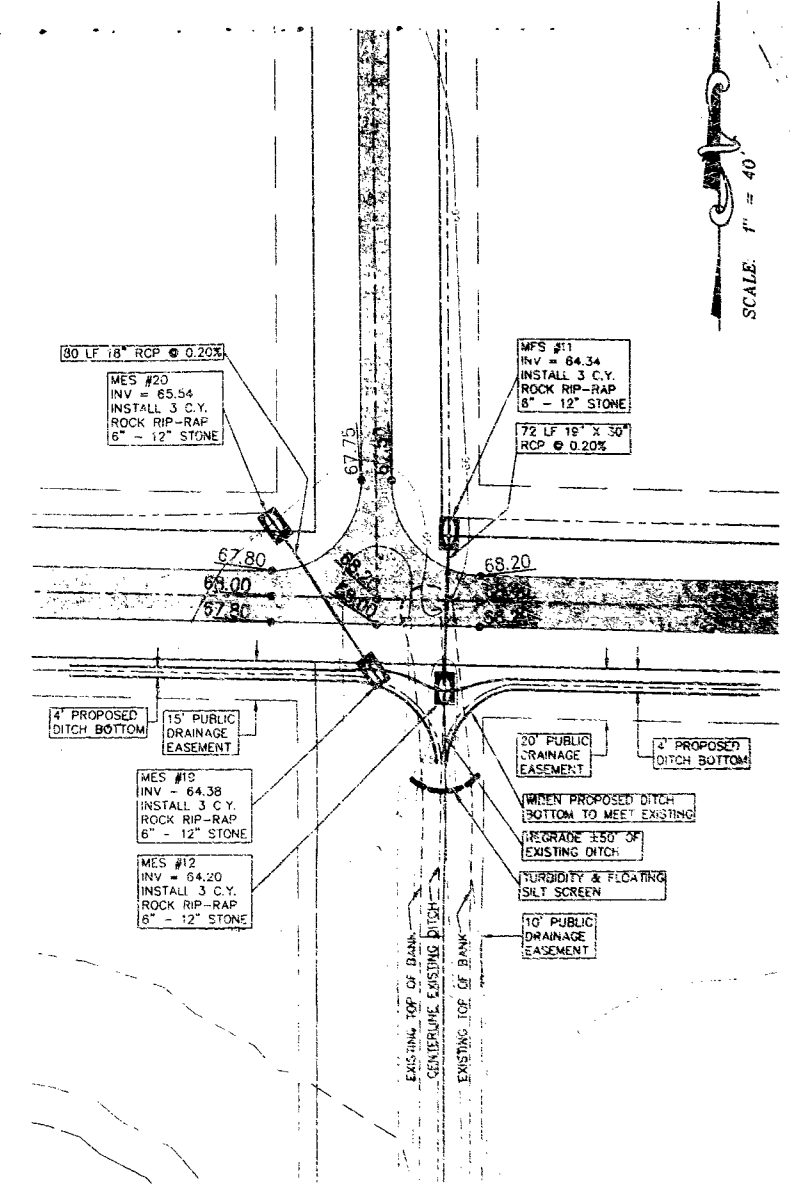
4817076.00

54





DETAIL "B"



DETAIL "A"

INTERSECTION DETAILS  
FOR  
FOXWOOD  
LOCATED IN  
SECTION 29-32, TOWNSHIP 29 SOUTH, RANGE 30 EAST  
MANATEE COUNTY, FLORIDA

REVISIONS

DATE: 10/1/11  
BY: [Signature]  
CHECKED: [Signature]  
APPROVED: [Signature]

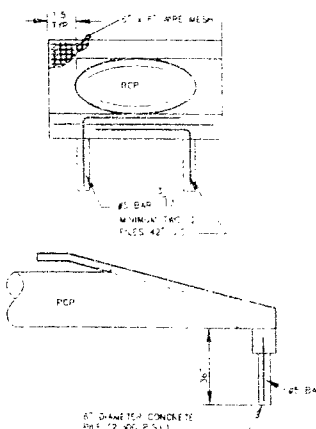
4817076.00

| DRIVEWAY CULVERT SIZE (RCP)                                                                                                                                                  |                  |                  |                             |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------|------------------|-----------------------------|
| Not Required if drive is extended from end of roadway or no structure on lot side of roadway.<br>(N = North, E = East, S = South, W = West, PL = Private, NR = Not Required) |                  |                  |                             |
| LOT NO.                                                                                                                                                                      | 20' ROADWAY      | 16' ROADWAY      | 12' ROADWAY                 |
| 2001                                                                                                                                                                         | ---              | ---              | 14" x 23" or 18"            |
| 2002                                                                                                                                                                         | ---              | ---              | 14" x 23" or 18"            |
| 2003                                                                                                                                                                         | ---              | 18"              | ---                         |
| 2004                                                                                                                                                                         | ---              | ---              | 19" x 30" or 24"            |
| 2005                                                                                                                                                                         | ---              | ---              | NR if drive off turn around |
| 2006                                                                                                                                                                         | ---              | ---              | NR                          |
| 2007                                                                                                                                                                         | ---              | ---              | NR                          |
| 2008                                                                                                                                                                         | ---              | ---              | 24" x 18"                   |
| 2009                                                                                                                                                                         | ---              | 19" x 30"        | 19" x 30" W PL, NR N PL     |
| 2010                                                                                                                                                                         | ---              | 19" x 30"        | 19" x 30"                   |
| 2011                                                                                                                                                                         | ---              | 14" x 23" or 18" | NR at N PL                  |
| 2012                                                                                                                                                                         | ---              | 14" x 23" or 18" | NR at S PL                  |
| 2013                                                                                                                                                                         | ---              | 19" x 30"        | ---                         |
| 2014                                                                                                                                                                         | ---              | NR               | ---                         |
| 2015                                                                                                                                                                         | ---              | ---              | ---                         |
| 2016                                                                                                                                                                         | 14" x 23" or 18" | ---              | ---                         |
| 2017                                                                                                                                                                         | 14" x 23" or 18" | ---              | ---                         |
| 2018                                                                                                                                                                         | 14" x 23" or 18" | ---              | ---                         |
| 2019                                                                                                                                                                         | ---              | NR               | ---                         |
| 2020                                                                                                                                                                         | ---              | NR               | ---                         |
| 2021                                                                                                                                                                         | ---              | ---              | NR                          |
| 2022                                                                                                                                                                         | ---              | ---              | NR                          |

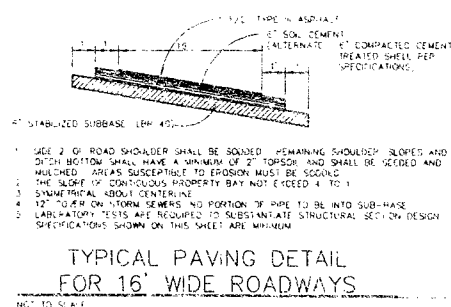
| LOT NO. | 20' ROADWAY              | 16' ROADWAY                                     | 12' ROADWAY                                             |
|---------|--------------------------|-------------------------------------------------|---------------------------------------------------------|
| 2023    | ---                      | ---                                             | NR                                                      |
| 2024    | ---                      | ---                                             | NR if drive off turn around                             |
| 2025    | ---                      | ---                                             | 2-14" x 53" RCP's N PL (must share drive with Lot 2026) |
| 2026    | ---                      | ---                                             | 2-14" x 53" RCP's S PL (must share drive with Lot 2025) |
| 2027    | ---                      | 43" x 68" N PL (must share drive with Lot 2028) | ---                                                     |
| 2028    | ---                      | 43" x 68" S PL (must share drive with Lot 2027) | ---                                                     |
| 2029    | ---                      | 43" x 68"                                       | ---                                                     |
| 2030    | ---                      | 24" x 18"                                       | ---                                                     |
| 2031    | ---                      | ---                                             | 14" x 23" or 18"                                        |
| 2032    | ---                      | ---                                             | 14" x 23" or 18"                                        |
| 2033    | ---                      | ---                                             | NR if drive off turn around                             |
| 2034    | 18" or NR at Ditch Break | ---                                             | NR                                                      |
| 2035    | 18" or NR at Ditch Break | ---                                             | ---                                                     |
| 2036    | ---                      | ---                                             | ---                                                     |
| 2037    | ---                      | NR                                              | NR                                                      |
| 2038    | ---                      | ---                                             | NR                                                      |
| 2039    | ---                      | NR                                              | ---                                                     |

| LOT NO. | 20' ROADWAY      | 16' ROADWAY                      | 12' ROADWAY      |
|---------|------------------|----------------------------------|------------------|
| 2040    | ---              | NR                               | ---              |
| 2041    | ---              | 19" x 30" or 24"                 | ---              |
| 2042    | 19" x 30" or 24" | ---                              | ---              |
| 2043    | 14" x 23" or 18" | ---                              | 19" x 30"        |
| 2044    | ---              | ---                              | NR               |
| 2045    | ---              | ---                              | NR               |
| 2046    | ---              | ---                              | NR               |
| 2047    | ---              | 19" x 30"                        | 14" x 23" or 18" |
| 2048    | ---              | ---                              | NR               |
| 2049    | 19" x 30"        | ---                              | NR               |
| 2050    | 19" x 30"        | ---                              | ---              |
| 2051    | ---              | 14" x 23" or NR at Ditch Break   | ---              |
| 2052    | ---              | NR                               | ---              |
| 2053    | ---              | 14" x 23" or NR on E Side of Lot | ---              |
| 2054    | ---              | 14" x 23"                        | ---              |
| 2055    | ---              | 14" x 23"                        | ---              |
| 2056    | 19" x 30"        | ---                              | ---              |
| 2057    | 19" x 30"        | ---                              | ---              |
| 2058    | ---              | 2-24" x 30"                      | ---              |
| 2059    | ---              | 19" x 30"                        | ---              |
| 2060    | 14" x 23"        | ---                              | ---              |
| 2061    | 14" x 23"        | ---                              | ---              |
| 2062    | ---              | ---                              | NR               |

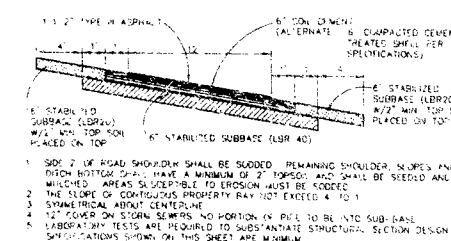
| LOT NO. | 20' ROADWAY                                                                | 16' ROADWAY                    | 12' ROADWAY |
|---------|----------------------------------------------------------------------------|--------------------------------|-------------|
| 2063    | ---                                                                        | NR                             | NR          |
| 2064    | ---                                                                        | 14" x 23"                      | ---         |
| 2065    | 14" x 23"                                                                  | ---                            | ---         |
| 2066    | 14" x 23"                                                                  | ---                            | ---         |
| 2067    | 14" x 23"                                                                  | ---                            | ---         |
| 2068    | 14" x 23"                                                                  | ---                            | ---         |
| 2069    | 14" x 23" South half of W PL, 19" x 30" North half of W PL, 14" x 23" N PL | ---                            | ---         |
| 2070    | 24" x 18" W PL, 19" x 30" S PL                                             | ---                            | ---         |
| 2071    | 24" x 18" W PL, 14" x 23" N PL                                             | ---                            | ---         |
| 2072    | 14" x 23" W PL, 19" x 30" S PL                                             | ---                            | ---         |
| 2073    | 14" x 23" or NR at Ditch Break                                             | 14" x 23" or NR at Ditch Break | ---         |
| 2074    | 19" x 30"                                                                  | NR                             | ---         |
| 2075    | 19" x 30"                                                                  | ---                            | ---         |
| 2076    | 14" x 23"                                                                  | ---                            | ---         |
| 2077    | 14" x 23"                                                                  | ---                            | ---         |
| 2078    | 14" x 23" or NR at Ditch Break                                             | ---                            | ---         |
| 2079    | 14" x 23"                                                                  | ---                            | ---         |
| 2080    | 14" x 23"                                                                  | ---                            | ---         |
| 2081    | 14" x 23"                                                                  | ---                            | ---         |
| 2082    | 14" x 23" or NR at N PL                                                    | ---                            | ---         |



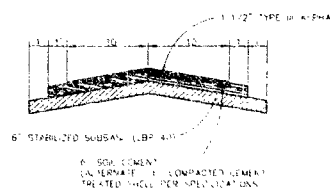
MITERED END SECTION FOOTER DETAIL  
FOOTER REQUIRED ONLY WHERE NOTED ON CONSTRUCTION PLANS



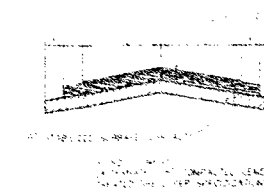
TYPICAL PAVING DETAIL  
FOR 16' WIDE ROADWAYS



TYPICAL PAVING DETAIL  
FOR 12' WIDE ROADWAYS



TYPICAL PAVING DETAIL  
FOR 20' WIDE ROADWAYS



TYPICAL PAVING DETAIL  
FOR 24' WIDE ROADWAYS

**Dr. L. L. L. L.**  
August 20, 1987

**Zoller, Naylor & Shroyer, Inc.**  
Engineers, Planners, Surveyors,  
Landscapers, Architects & Environmental Consultants  
1000 N. W. 10th Ave., Suite 100, Fort Lauderdale, FL 33304  
TELEPHONE: (305) 441-1111  
FAX: (305) 441-1111  
DESIGNED BY: [Signature] DATE: 8/1/87 JOB NO.: 12345 SCALE: N.E.S.  
DRAWN BY: [Signature] DATE: 8/1/87

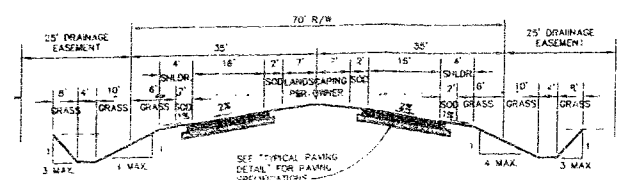
**REVISIONS**

| NO. | DESCRIPTION |
|-----|-------------|
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| 2   | AS NOTED    |
| 3   | AS NOTED    |
| 4   | AS NOTED    |
| 5   | AS NOTED    |
| 6   | AS NOTED    |
| 7   | AS NOTED    |

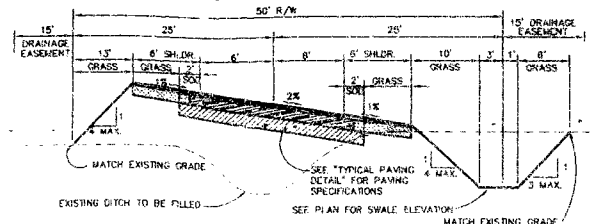
**DRAINAGE DETAILS**  
FOR  
**FOXWOOD**  
LOCATED IN  
SECTION 29 - 1 TOWNSHIP 35 SOUTH, RANGE 20 EAST  
JACKSON COUNTY, FLORIDA

4317076.00

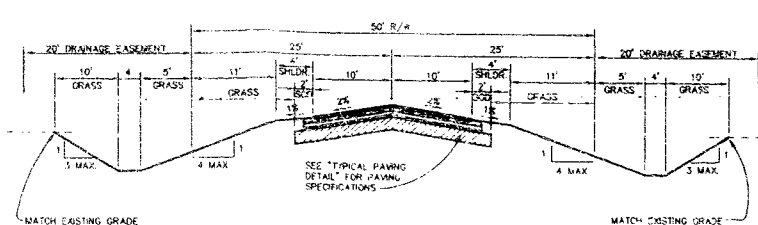
**FOOTER REQUIRED ONLY WHERE NOTED ON CONSTRUCTION PLANS**



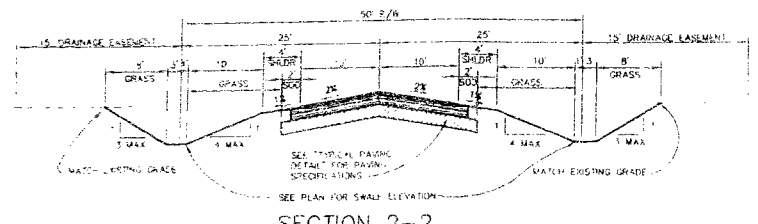
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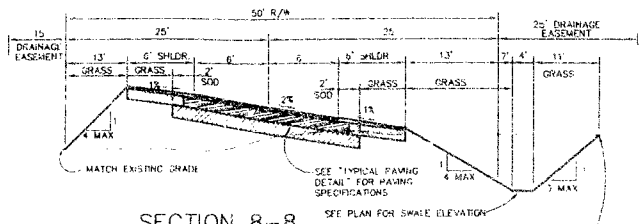
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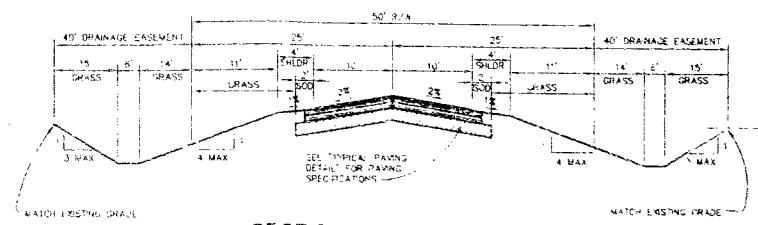
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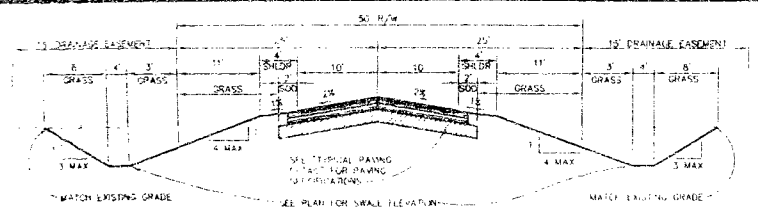
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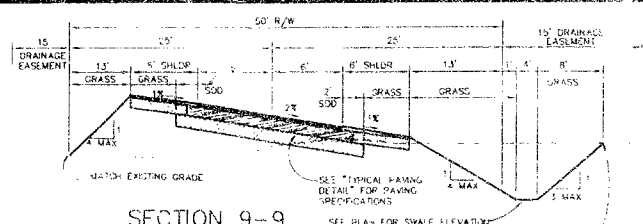
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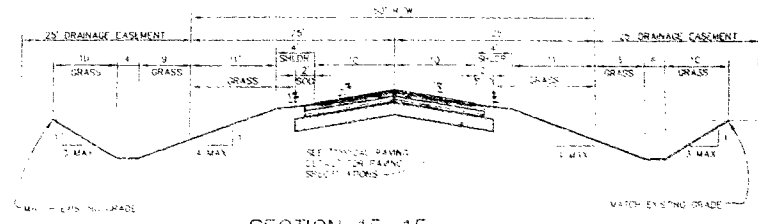
SECTION 14-14  
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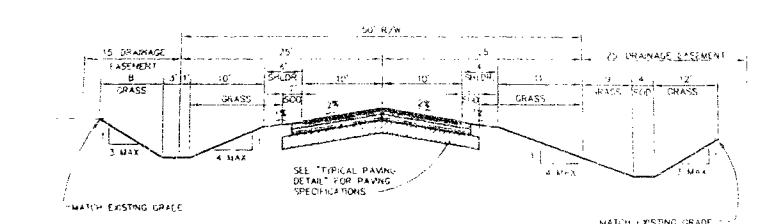
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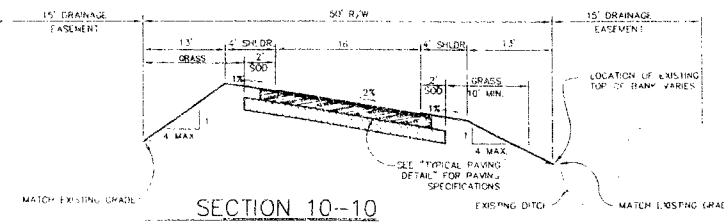
SECTION 9-9  
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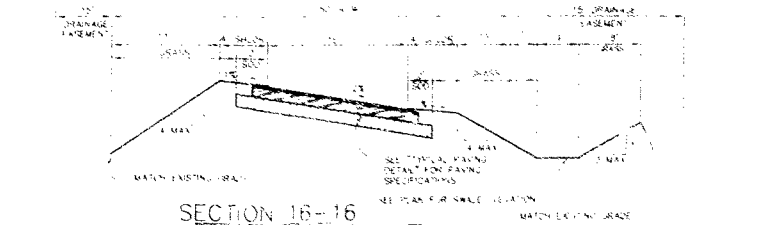
SECTION 15-15  
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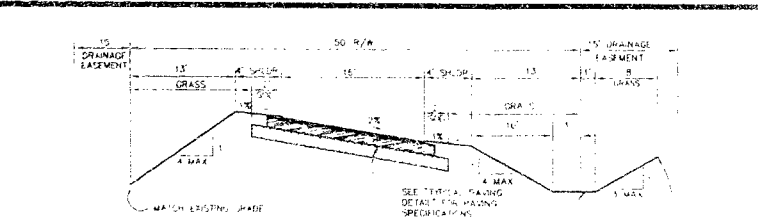
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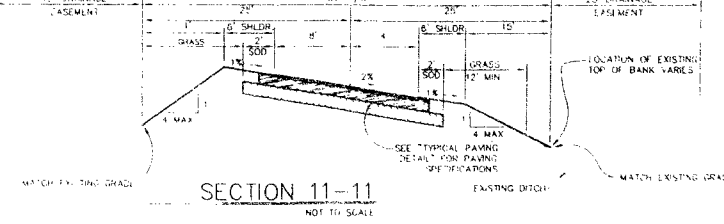
SECTION 10-10  
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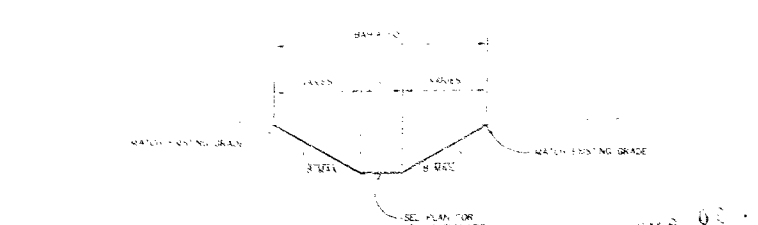
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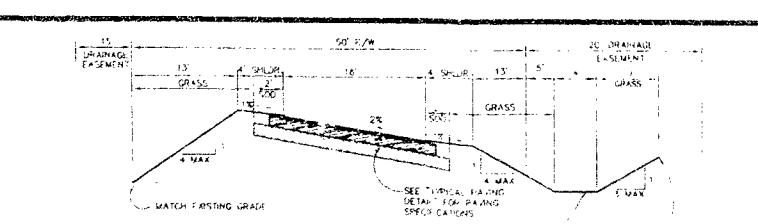
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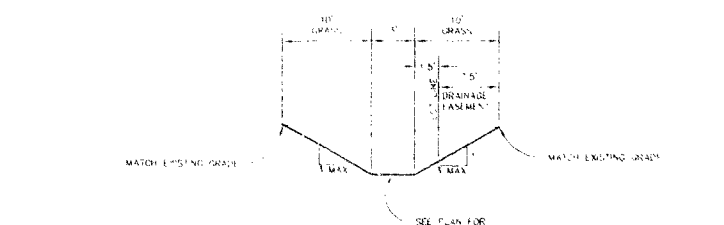
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SECTION 17-17  
NOT TO SCALE



SECTION 6-6  
NOT TO SCALE



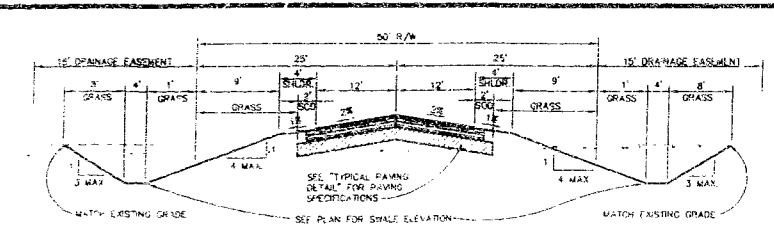
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Original  
 AUG 20 1981

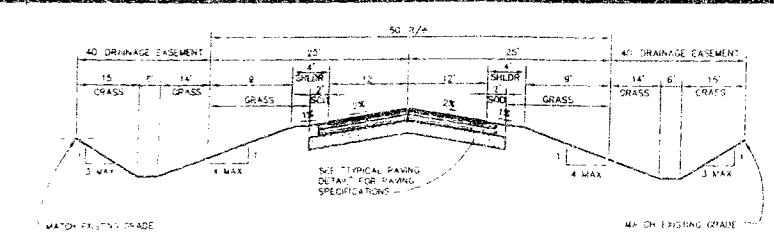
**Zoller, Nafar & Shroyer, Inc.**  
 Engineers, Planners, Surveyors  
 Landscape Architects & Environmental Consultants  
 1000 N. W. 10th Ave., Suite 200  
 Fort Lauderdale, FL 33304  
 PHONE: (305) 461-1111  
 FAX: (305) 461-1112  
 DESIGNED: JNS  
 DATE: 10/20/80  
 JOB NO.: 80-100-1  
 SCALE: A.S.  
 SHEET: 11

REVISIONS  
 1  
 2  
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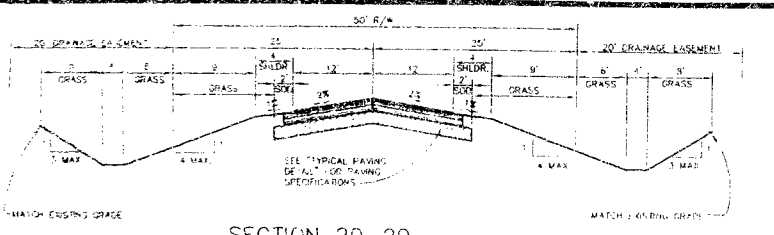
DRAINAGE DETAILS  
 FOXWOOD  
 LOCATED IN  
 SECTION 79-12, TOWNSHIP 35 S, RANGE 20 EAST  
 MANATEE COUNTY, FLORIDA



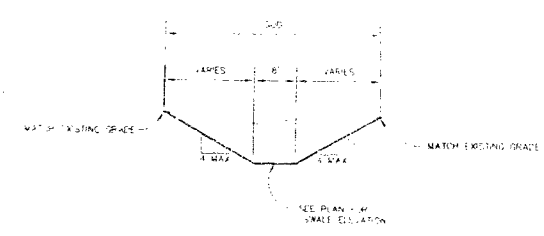
SECTION 18-18



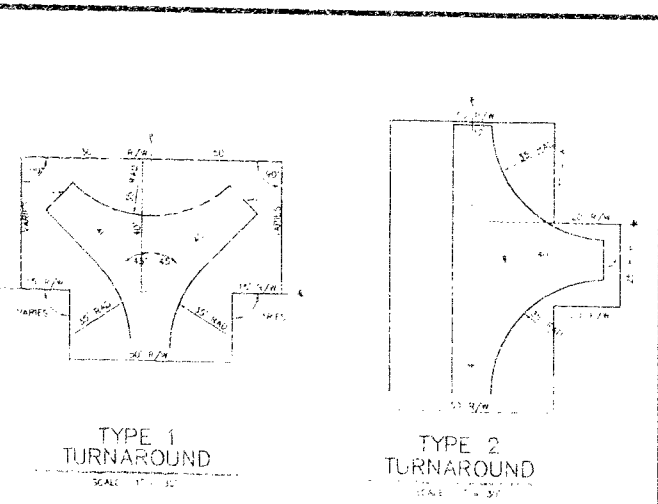
SECTION 19-19



SECTION 20-20

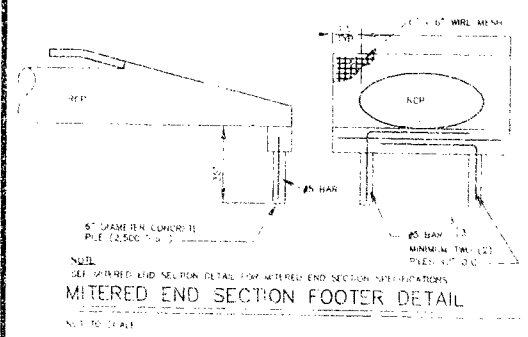


SECTION 21-21



TYPE 1  
TURNAROUND

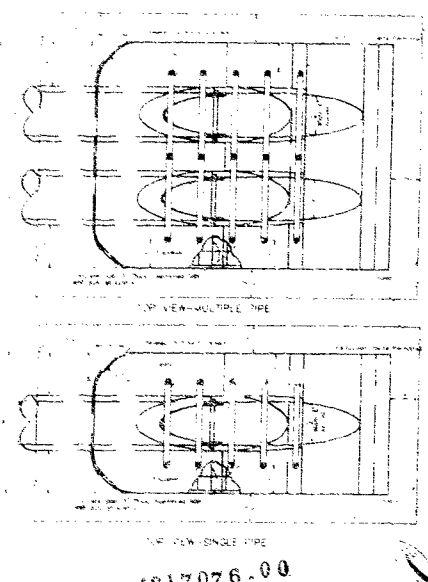
TYPE 2  
TURNAROUND



MITERED END SECTION FOOTER DETAIL

**DIMENSIONS & QUANTITIES**

| ITEM | DESCRIPTION                                         | QUANTITY | UNIT        |
|------|-----------------------------------------------------|----------|-------------|
| 1    | 50' R/W                                             | 1        | LINEAL FOOT |
| 2    | 12' DRAINAGE EASEMENT                               | 2        | LINEAL FEET |
| 3    | 4' MAX. DEPTH                                       | 1        | LINEAL FOOT |
| 4    | 12' MAX. DEPTH                                      | 1        | LINEAL FOOT |
| 5    | SEE TYPICAL PAVING DETAIL FOR PAVING SPECIFICATIONS | 1        | LINEAL FOOT |
| 6    | MATCH EXISTING GRADE                                | 1        | LINEAL FOOT |
| 7    | 15' R/W                                             | 1        | LINEAL FOOT |
| 8    | 12' R/W                                             | 1        | LINEAL FOOT |
| 9    | 15' R/W                                             | 1        | LINEAL FOOT |
| 10   | 12' R/W                                             | 1        | LINEAL FOOT |
| 11   | 15' R/W                                             | 1        | LINEAL FOOT |
| 12   | 12' R/W                                             | 1        | LINEAL FOOT |
| 13   | 15' R/W                                             | 1        | LINEAL FOOT |
| 14   | 12' R/W                                             | 1        | LINEAL FOOT |
| 15   | 15' R/W                                             | 1        | LINEAL FOOT |
| 16   | 12' R/W                                             | 1        | LINEAL FOOT |
| 17   | 15' R/W                                             | 1        | LINEAL FOOT |
| 18   | 12' R/W                                             | 1        | LINEAL FOOT |
| 19   | 15' R/W                                             | 1        | LINEAL FOOT |
| 20   | 12' R/W                                             | 1        | LINEAL FOOT |
| 21   | 15' R/W                                             | 1        | LINEAL FOOT |
| 22   | 12' R/W                                             | 1        | LINEAL FOOT |
| 23   | 15' R/W                                             | 1        | LINEAL FOOT |
| 24   | 12' R/W                                             | 1        | LINEAL FOOT |
| 25   | 15' R/W                                             | 1        | LINEAL FOOT |
| 26   | 12' R/W                                             | 1        | LINEAL FOOT |
| 27   | 15' R/W                                             | 1        | LINEAL FOOT |
| 28   | 12' R/W                                             | 1        | LINEAL FOOT |
| 29   | 15' R/W                                             | 1        | LINEAL FOOT |
| 30   | 12' R/W                                             | 1        | LINEAL FOOT |
| 31   | 15' R/W                                             | 1        | LINEAL FOOT |
| 32   | 12' R/W                                             | 1        | LINEAL FOOT |
| 33   | 15' R/W                                             | 1        | LINEAL FOOT |
| 34   | 12' R/W                                             | 1        | LINEAL FOOT |
| 35   | 15' R/W                                             | 1        | LINEAL FOOT |
| 36   | 12' R/W                                             | 1        | LINEAL FOOT |
| 37   | 15' R/W                                             | 1        | LINEAL FOOT |
| 38   | 12' R/W                                             | 1        | LINEAL FOOT |
| 39   | 15' R/W                                             | 1        | LINEAL FOOT |
| 40   | 12' R/W                                             | 1        | LINEAL FOOT |
| 41   | 15' R/W                                             | 1        | LINEAL FOOT |
| 42   | 12' R/W                                             | 1        | LINEAL FOOT |
| 43   | 15' R/W                                             | 1        | LINEAL FOOT |
| 44   | 12' R/W                                             | 1        | LINEAL FOOT |
| 45   | 15' R/W                                             | 1        | LINEAL FOOT |
| 46   | 12' R/W                                             | 1        | LINEAL FOOT |
| 47   | 15' R/W                                             | 1        | LINEAL FOOT |
| 48   | 12' R/W                                             | 1        | LINEAL FOOT |
| 49   | 15' R/W                                             | 1        | LINEAL FOOT |
| 50   | 12' R/W                                             | 1        | LINEAL FOOT |
| 51   | 15' R/W                                             | 1        | LINEAL FOOT |
| 52   | 12' R/W                                             | 1        | LINEAL FOOT |
| 53   | 15' R/W                                             | 1        | LINEAL FOOT |
| 54   | 12' R/W                                             | 1        | LINEAL FOOT |
| 55   | 15' R/W                                             | 1        | LINEAL FOOT |
| 56   | 12' R/W                                             | 1        | LINEAL FOOT |
| 57   | 15' R/W                                             | 1        | LINEAL FOOT |
| 58   | 12' R/W                                             | 1        | LINEAL FOOT |
| 59   | 15' R/W                                             | 1        | LINEAL FOOT |
| 60   | 12' R/W                                             | 1        | LINEAL FOOT |
| 61   | 15' R/W                                             | 1        | LINEAL FOOT |
| 62   | 12' R/W                                             | 1        | LINEAL FOOT |
| 63   | 15' R/W                                             | 1        | LINEAL FOOT |
| 64   | 12' R/W                                             | 1        | LINEAL FOOT |
| 65   | 15' R/W                                             | 1        | LINEAL FOOT |
| 66   | 12' R/W                                             | 1        | LINEAL FOOT |
| 67   | 15' R/W                                             | 1        | LINEAL FOOT |
| 68   | 12' R/W                                             | 1        | LINEAL FOOT |
| 69   | 15' R/W                                             | 1        | LINEAL FOOT |
| 70   | 12' R/W                                             | 1        | LINEAL FOOT |
| 71   | 15' R/W                                             | 1        | LINEAL FOOT |
| 72   | 12' R/W                                             | 1        | LINEAL FOOT |
| 73   | 15' R/W                                             | 1        | LINEAL FOOT |
| 74   | 12' R/W                                             | 1        | LINEAL FOOT |
| 75   | 15' R/W                                             | 1        | LINEAL FOOT |
| 76   | 12' R/W                                             | 1        | LINEAL FOOT |
| 77   | 15' R/W                                             | 1        | LINEAL FOOT |
| 78   | 12' R/W                                             | 1        | LINEAL FOOT |
| 79   | 15' R/W                                             | 1        | LINEAL FOOT |
| 80   | 12' R/W                                             | 1        | LINEAL FOOT |
| 81   | 15' R/W                                             | 1        | LINEAL FOOT |
| 82   | 12' R/W                                             | 1        | LINEAL FOOT |
| 83   | 15' R/W                                             | 1        | LINEAL FOOT |
| 84   | 12' R/W                                             | 1        | LINEAL FOOT |
| 85   | 15' R/W                                             | 1        | LINEAL FOOT |
| 86   | 12' R/W                                             | 1        | LINEAL FOOT |
| 87   | 15' R/W                                             | 1        | LINEAL FOOT |
| 88   | 12' R/W                                             | 1        | LINEAL FOOT |
| 89   | 15' R/W                                             | 1        | LINEAL FOOT |
| 90   | 12' R/W                                             | 1        | LINEAL FOOT |
| 91   | 15' R/W                                             | 1        | LINEAL FOOT |
| 92   | 12' R/W                                             | 1        | LINEAL FOOT |
| 93   | 15' R/W                                             | 1        | LINEAL FOOT |
| 94   | 12' R/W                                             | 1        | LINEAL FOOT |
| 95   | 15' R/W                                             | 1        | LINEAL FOOT |
| 96   | 12' R/W                                             | 1        | LINEAL FOOT |
| 97   | 15' R/W                                             | 1        | LINEAL FOOT |
| 98   | 12' R/W                                             | 1        | LINEAL FOOT |
| 99   | 15' R/W                                             | 1        | LINEAL FOOT |
| 100  | 12' R/W                                             | 1        | LINEAL FOOT |



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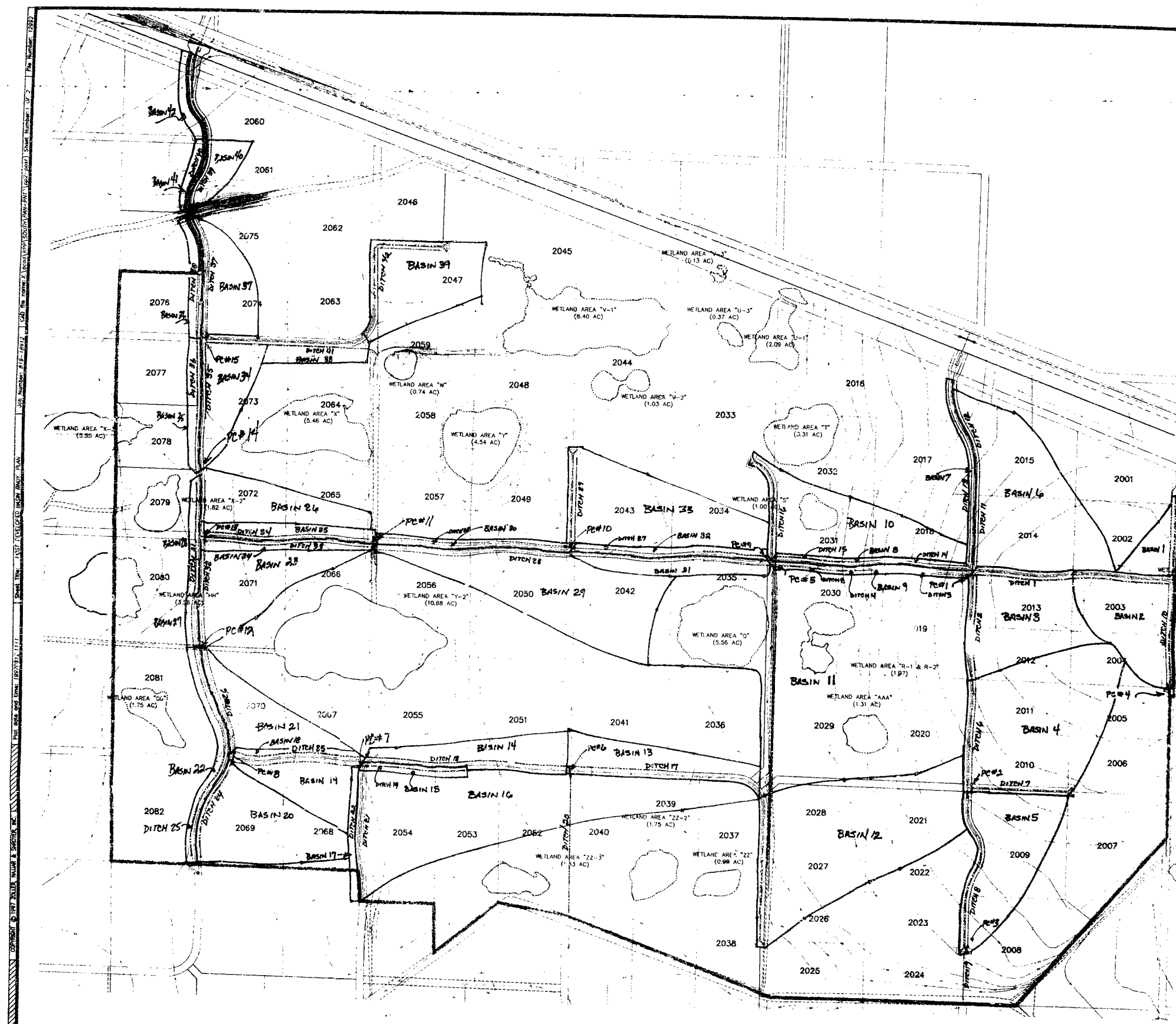
**DRAINAGE DETAILS**

**FOXWOOD**

SECTION 28-32, TOWNSHIP 31, RANGE 20, EAST  
MANATEE COUNTY, FLORIDA

**Zeller, Naffer & Shroyer, Inc.**  
Engineers, Surveyors, Environmental Consultants  
10000 W. US Highway 90, Suite 100  
Fort Myers, FL 33907  
Phone: (813) 938-1100  
Fax: (813) 938-1101  
E-mail: zns@znsinc.com  
Web: www.znsinc.com

DESIGNED BY: [Signature]  
CHECKED BY: [Signature]  
DATE: 8/7/02  
JOB NO: 814-1012  
FILE NO: 215  
DRAWN BY: [Signature]  
SCALE: AS SHOWN



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## SIONS

REVIEW

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ANOTHER, BY ACTION BY IT ALI. REE S DOCUMENTED HEREON BY FULLY PROGRESS OF ZERENT OF ZERENT IS HERE GOVERNMENT OVERNAME HIS DOCUMENT CHAPTER

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ZOLLER, N  
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© 1997

FOOTING

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SECTION 101.035

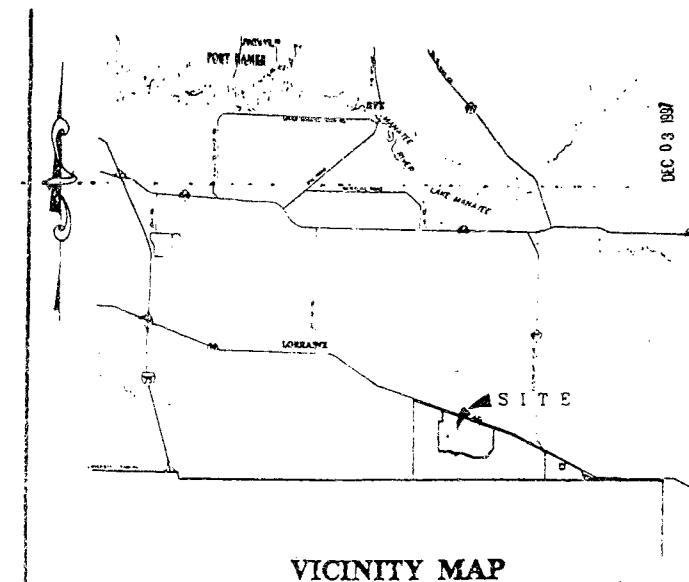
POS

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5

1947





# SITE WORK RECORD DRAWINGS

TO SERVE

## FOXWOOD

LOCATED IN

SECTION 29 - 32, TOWNSHIP 35 SOUTH, RANGE 20 EAST  
MANATEE COUNTY, FLORIDA

PREPARED FOR:  
RANCH PROPERTY PARTNERS, LTD.  
by RANCH PROPERTY INC.  
3651 CORTEZ ROAD W., SUITE 300  
BRADENTON, FLORIDA 34210  
TELE. (941) 753-1616

1/24/97 COT

|                                                                      |
|----------------------------------------------------------------------|
| <input checked="" type="checkbox"/> INSPECTION CONDUCTED BY DISTRICT |
| <input type="checkbox"/> INSPECTION NOT CONDUCTED BY DISTRICT        |
| RIGHT RESERVED FOR FUTURE INSPECTION                                 |

I HEREBY CERTIFY TO ZOLLER, NAJARI AND SHROYER, INC. AND THE APPROPRIATE GOVERNMENTAL AGENCIES THAT THE FIELD INFORMATION SHOWN SUPERIMPOSED ON THE DESIGN CONSTRUCTION PLANS IS TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF A TRUE AND CORRECT REPRESENTATION OF THE IMPROVEMENTS AS SHOWN. NO ATTEMPT WAS MADE BY THIS OFFICE TO REVIEW VARIOUS GOVERNMENTAL PERMITS AND THEREFORE NOTHING WITHIN THIS CERTIFICATION SHOULD BE CONSTRUED AS CERTIFYING TO THE COMPLIANCE OF SAID PERMITS.

1

DATE OF CERTIFICATION: 1/24/97

RELEASED TO: RANCH PROPERTY INC.

DATE OF RELEASE: 1/24/97

AB 431707400

SEE S. R. 70  
IMPROVEMENT PLAN  
S. R. 70 IMPROVEMENTS TO  
1/2" LONGITUDINAL WITH  
ROADWAY CONSTRUCTION

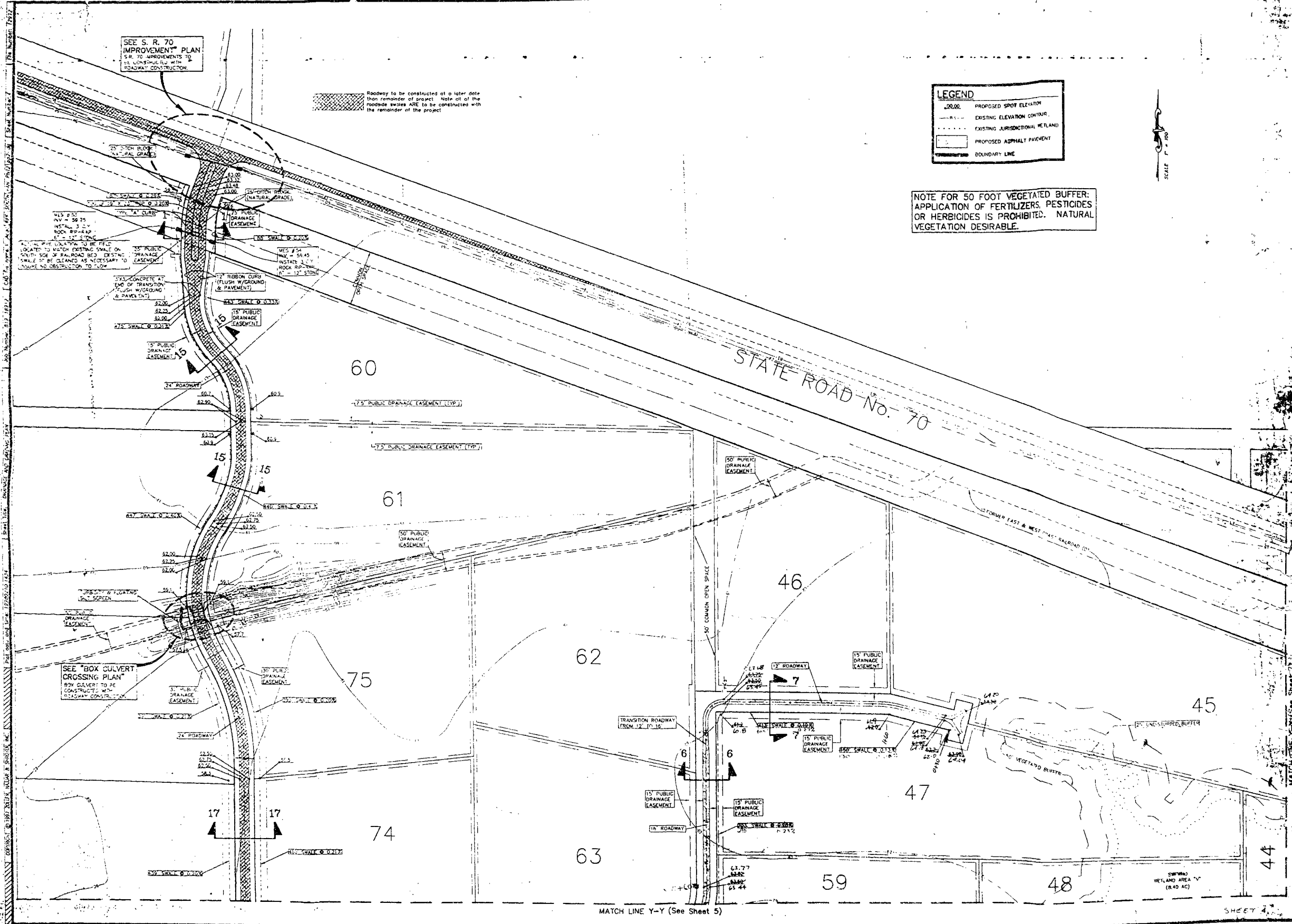
Roadway to be constructed at a later date  
than remainder of project. Note all of the  
roadside swales ARE to be constructed with  
the remainder of the project

**LEGEND**

- PROPOSED SPOT ELEVATION
- EXISTING ELEVATION CONTOUR
- EXISTING JURISDICTIONAL WETLAND
- PROPOSED ASPHALT PAVEMENT
- BOUNDARY LINE

SCALE 1" = 100'

NOTE FOR 50 FOOT VEGETATED BUFFER:  
APPLICATION OF FERTILIZERS, PESTICIDES  
OR HERBICIDES IS PROHIBITED. NATURAL  
VEGETATION DESIRABLE.



100445  
11-16-98

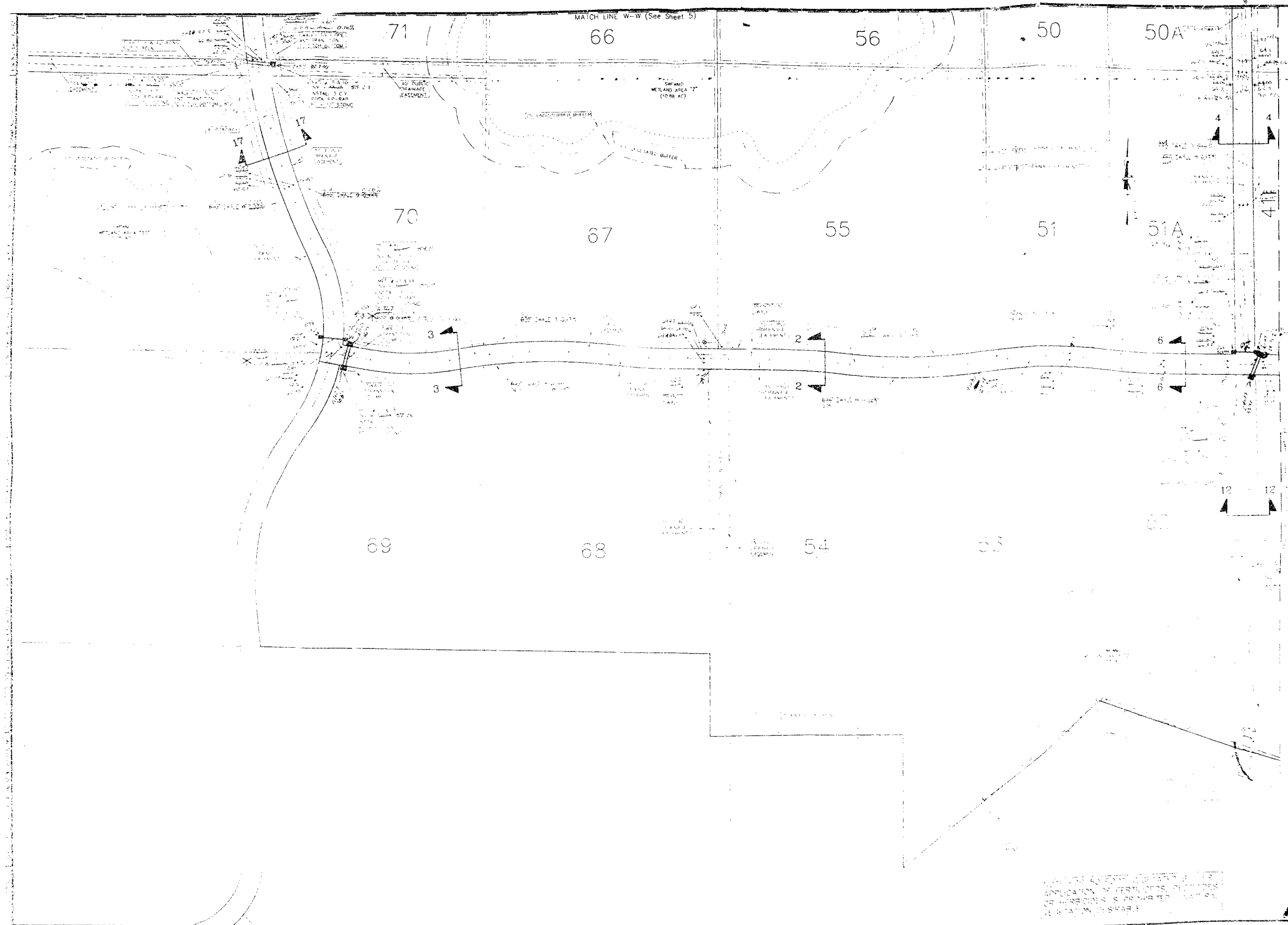
100445  
11-16-98



MATCH LINE Y-Y (See Sheet 5)

SHEET 4

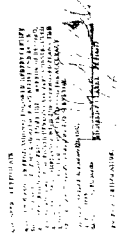


[illegible]

Long Beach, Cal. 11 11 97

NOTE FOR 50 FOOT-VEGETATED-BUFFER:  
APPLICATION OF FERTILIZERS, PESTICIDES  
OR HERBICIDES IS PROHIBITED. NATURAL  
VEGETATION DESIRABLE.

SEE S. R. 70  
IMPROVEMENT PLAN



IN THE CITY OF CALIFORNIA, COUNTY OF LOS ANGELES, I, the undersigned, a duly qualified and licensed Surveyor, do hereby certify that the foregoing is a true and correct copy of the original map or plan filed for record in my office, and that the same has been duly examined and found to conform to the requirements of the laws of this State.

1574 11/14/90 11/16/90

5

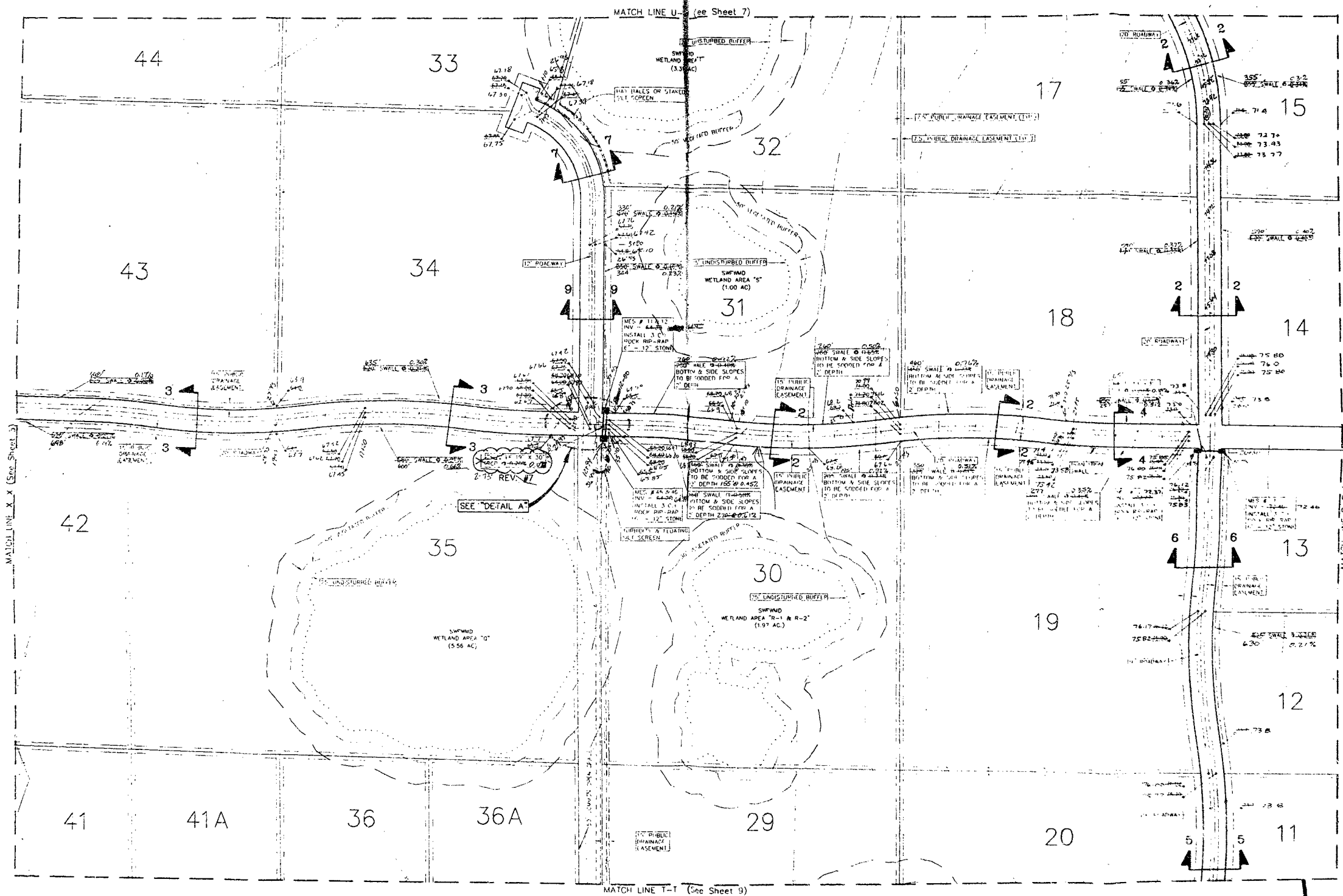


INVESTOR  
RUBINSTEIN  
12-20-8

13. The following information was obtained from the records of the Department of the Interior, Bureau of Land Management, regarding the land owned by the United States in the State of Nevada:

*Dr. J. H. Smith*

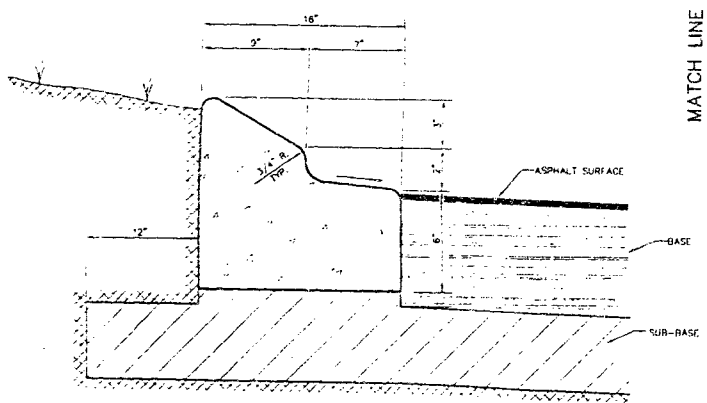
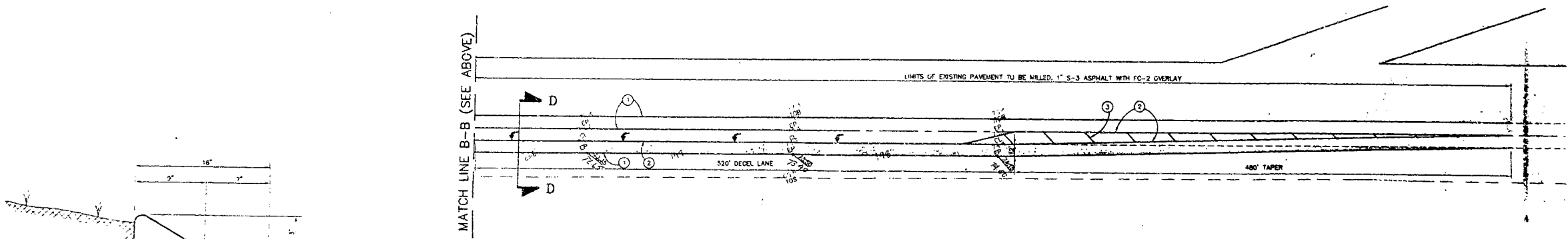
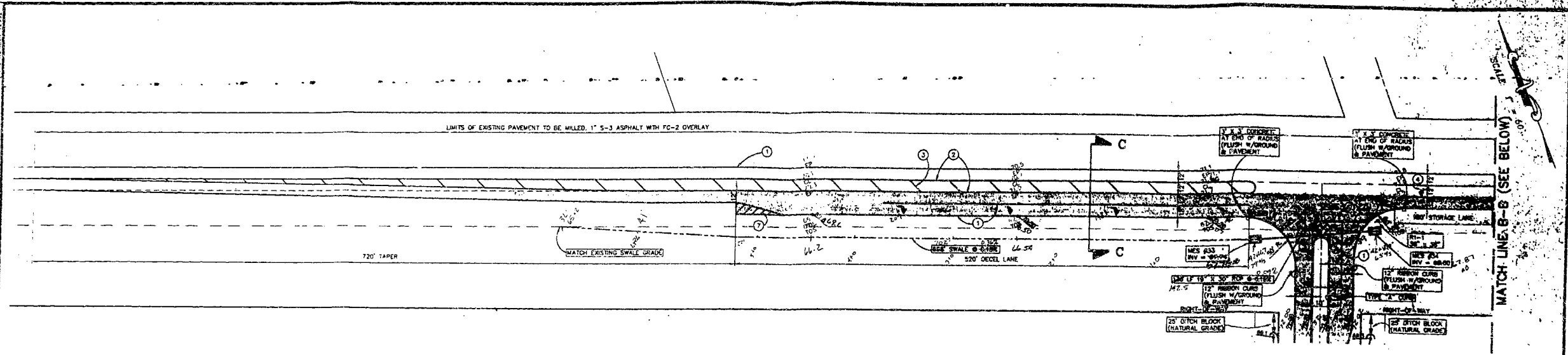
NOTE FOR 50 FOOT VEGETATED BUFFER:  
APPLICATION OF FERTILIZERS, PESTICIDES  
OR HERBICIDES IS PROHIBITED. NATURAL  
VEGETATION DESIRABLE.



WEAVER CERTIFY TO ZOLLER, NAWA, AND SHROYER, INC. AND THE APPROPRIATE  
GOVERNMENTAL AGENCIES THAT THE FIELD INFORMATION SHOWN SUPERIMPOSED ON  
THIS PLAN WAS OBTAINED FROM THE FIELD AND IS TRUE AND CORRECT TO THE BEST OF  
OUR KNOWLEDGE AND BELIEF. NO ATTEMPT WAS MADE BY THIS OFFICE TO REVIEW VARIOUS GOVERNMENTAL  
PERMITS AND THEREFORE NO GUARANTEE IS MADE BY THIS CERTIFICATION SHOULD BE  
CONTAINED IN CERTAINING TO THE COMPLIANCE OF SAID PERMITS.





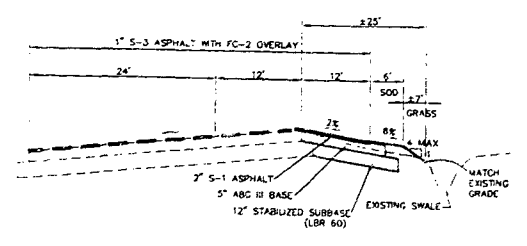


TYPE "A" CURB DETAIL  
N.T.S.

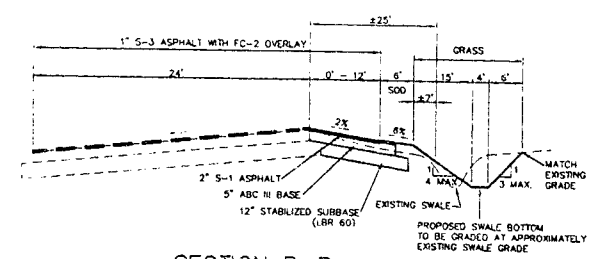
- NOTES:
1. ALL CONSTRUCTION WITHIN 5' R/W TO BE IN ACCORDANCE WITH LATEST F.D.O.T. ROADWAY DESIGN STANDARDS. SAFETY PROCEDURES TO BE ADHERED TO PER F.D.O.T. UTILITY ACCOMMODATION GUIDE.
  2. ALL SIGNS, POLES, MAILBOXES, LANDSCAPING, DRIVEWAYS AND OTHER ENCUMBRANCES OF THE R/W NOT SHOWN ON THIS PLAN TO BE REPLACED OR RESTORED TO ORIGINAL CONDITION UPON COMPLETION OF CONSTRUCTION.
  3. ALL DISTURBED AREAS WITHIN THE R/W TO BE REGRADED PER F.D.O.T. SPECIFICATIONS.
  4. CONTRACTOR TO NOTIFY "CANDY", ASPHO AND F.D.O.T. 48 HOURS PRIOR TO START OF CONSTRUCTION.
  5. ALL REQUIRED AND EXISTING ROADWAY STRIPING, PAVEMENT SYMBOLS AND RAISED PAVEMENT MARKERS TO BE THE RESPONSIBILITY OF THE PERMITTEE.
  6. PROPOSED STRIPING TO MATCH EXISTING, AND BE COORDINATED WITH F.D.O.T. MAINTENANCE OFFICE.
  7. STRIPING TO BE THERMOPLASTIC AND SHALL ADHERE TO F.D.O.T. STANDARDS.
  8. STRIPING FOR NO PASSING ZONE PER F.D.O.T. INDEX 17346, SHEET 1 OF 9. (CONTRACTOR TO COORDINATE WITH F.D.O.T. ON DISTANCE).
  9. RAISED REFLECTIVE PAVEMENT MARKERS PER F.D.O.T. INDEX 17352.

LEGEND

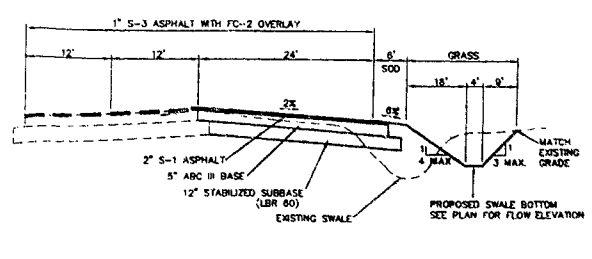
|   |                                     |
|---|-------------------------------------|
| ① | 6" SOLID WHITE LINE                 |
| ② | 6" SOLID DOUBLE YELLOW LINE         |
| ③ | 18" SOLID YELLOW LINE (40' SPACING) |
| ④ | WHITE LANE USAGE ARROW              |
| ⑤ | 24" WHITE STOP BAR                  |
| ⑥ | 6" BROKEN YELLOW LINE               |
| ⑦ | 18" WHITE LINE (10' SPACING)        |
| ⑧ | 6" BROKEN YELLOW LINE (6'/10' SKIP) |
| ■ | PROPOSED PAVEMENT                   |



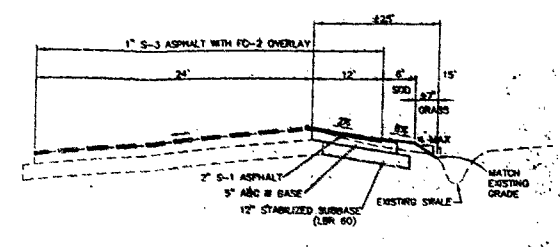
SECTION A-A  
NOT TO SCALE



SECTION B-B  
NOT TO SCALE



SECTION C-C  
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SECTION D-D  
NOT TO SCALE

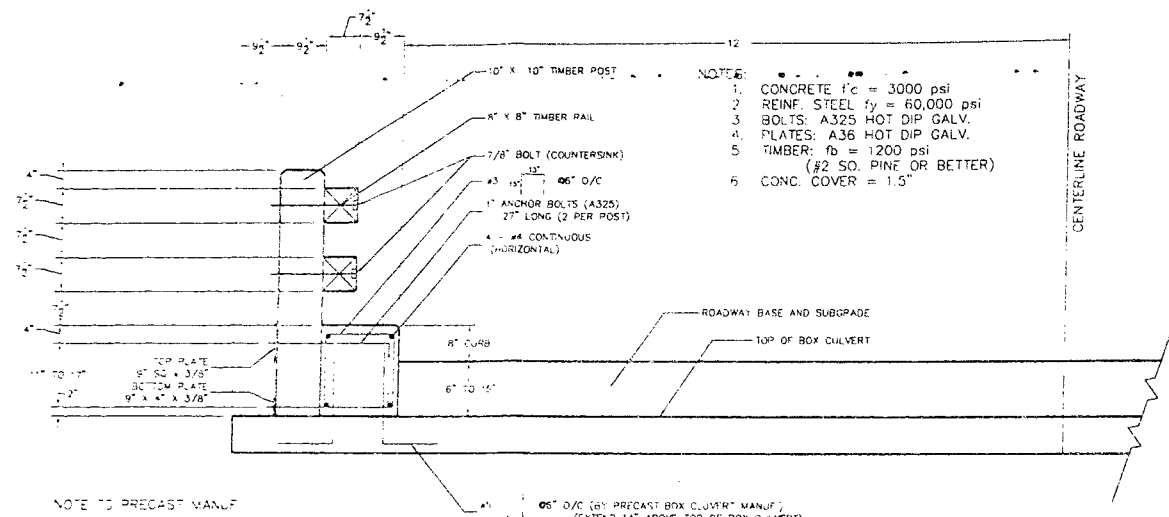
DESIGNER'S CERTIFICATE  
I, THE UNDERSIGNED, A PROFESSIONAL ENGINEER, HEREBY CERTIFY THAT THE FIELD INFORMATION SHOWN SUPERSEDED ON THIS DRAWING WAS OBTAINED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND BELIEVE A TRUE AND CORRECT REPRESENTATION OF THE SAME. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE ACCURACY OF THE INFORMATION SHOWN. NO ATTEMPT WAS MADE BY THE OFFICE TO RE-VIEW / VERIFY ANY INFORMATION SHOWN ON THIS DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN ON THIS DRAWING. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE ACCURACY OF THE INFORMATION SHOWN ON THIS DRAWING.

DATE OF CERTIFICATION: 12/2/14

DESIGNER: [Signature]

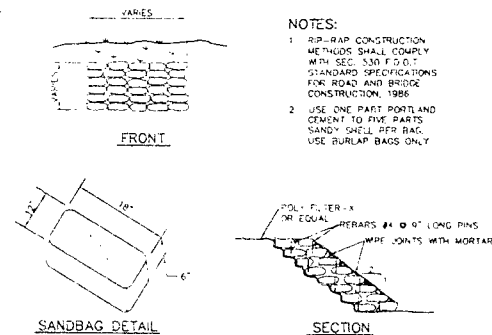
DATE: 12/2/14



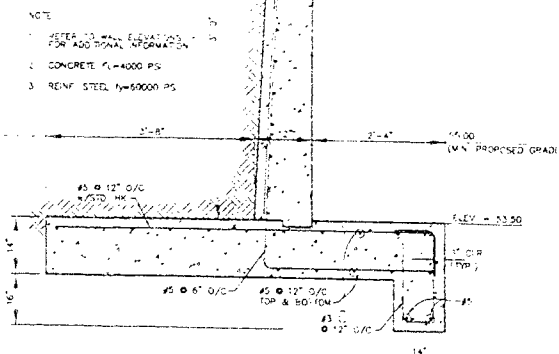


NOTE TO PRECAST MANUF.  
THE BOX CULVERT IS TO BE DESIGNED FOR THE FOLLOWING REACTIONS FROM THE GUARD RAIL CONNECTION.  
MOMENT 355 K-IPS  
S-EAR 10 K-IPS

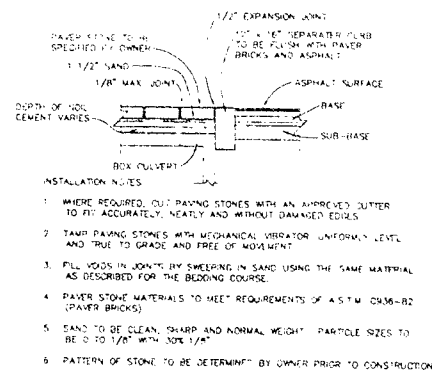
FOXWOOD BRIDGE RAIL DETAIL  
NOT TO SCALE



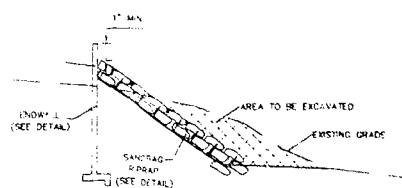
RIP-RAP HEADWALL DETAIL  
NOT TO SCALE



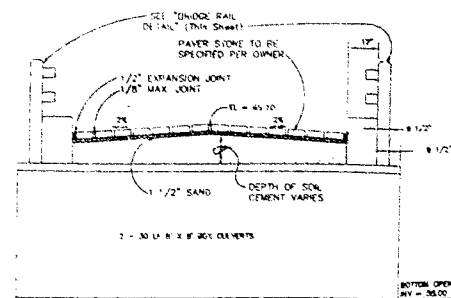
TYPICAL ENDWALL SECTION  
NOT TO SCALE



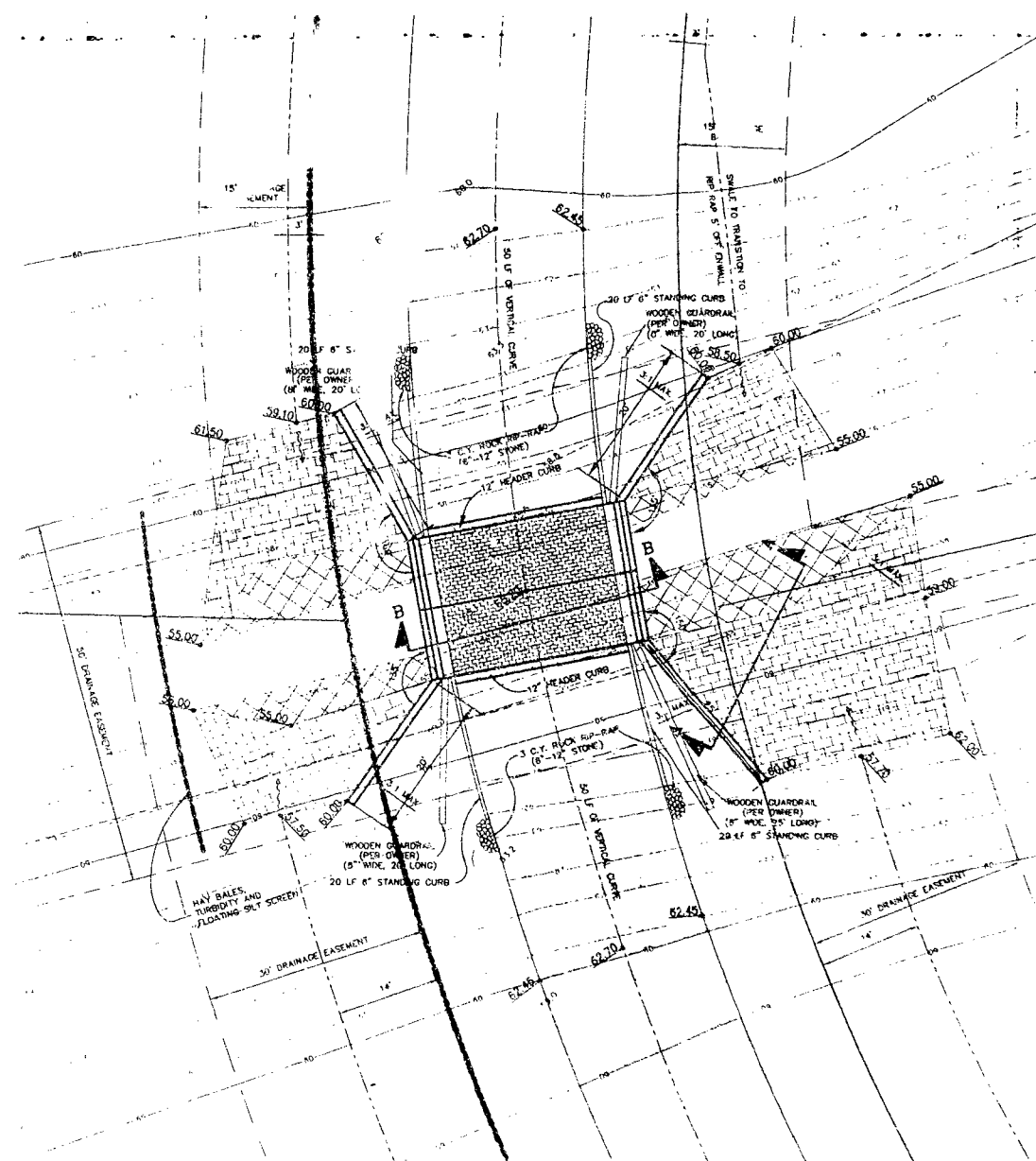
PAVER STONE DETAIL



SECTION A-A  
NOT TO SCALE



SECTION B-B  
NOT TO SCALE



| LEGEND |                                            |
|--------|--------------------------------------------|
| — 47 — | PROPOSED CONTOUR                           |
| — 47 — | EXISTING CONTOUR                           |
| — 47 — | PROPOSED SWALE                             |
| — 47 — | EXISTING SPOT ELEVATION                    |
| — 47 — | PROPOSED SPOT ELEVATION                    |
| — 47 — | BRICK PAVERS (PER OWNER)                   |
| — 47 — | SPECIFICATIONS TO BE SUBMITTED TO ENGINEER |
| — 47 — | SAND BAG RIP-RAP                           |
| — 47 — | AREA TO BE EXCAVATED                       |

THESE CERTIFICATIONS ARE THE PROPERTY OF THE ENGINEER AND ARE NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE OWNER OR FOR THE RESULTS OF THE CONSTRUCTION OF THE PROJECT. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE STRUCTURE AND THE PREPARATION OF THE CONSTRUCTION DOCUMENTS. THE ENGINEER DOES NOT GUARANTEE THE PERFORMANCE OF THE PROJECT OR THE SAFETY OF THE PUBLIC. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN OF THE STRUCTURE AND THE PREPARATION OF THE CONSTRUCTION DOCUMENTS. THE ENGINEER DOES NOT GUARANTEE THE PERFORMANCE OF THE PROJECT OR THE SAFETY OF THE PUBLIC.

10/1/96  
10/1/96



DETAIL "B"



DETAIL "A"



DETAIL FOR LOT 30

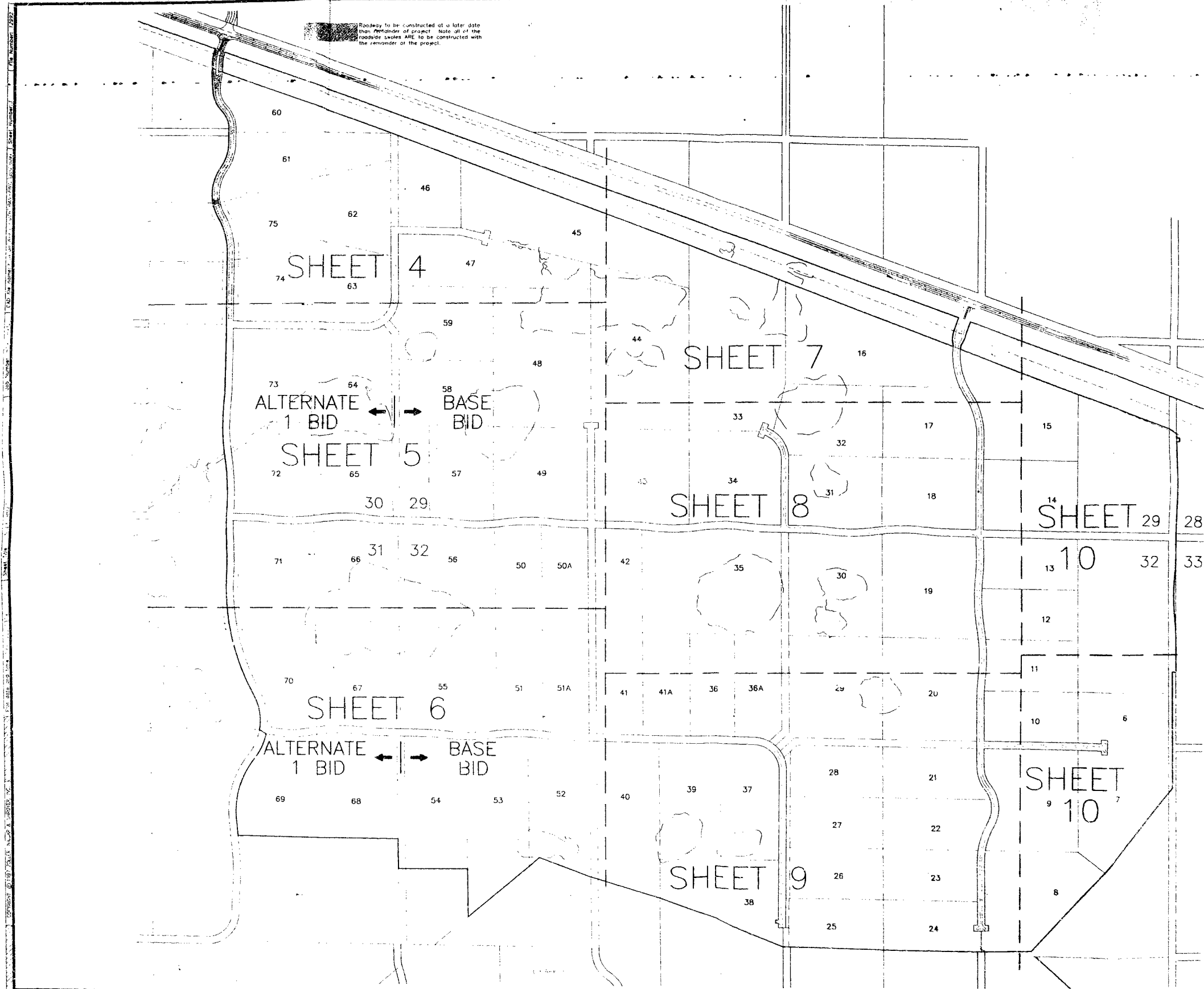
SCALE 1" = 100'

NOTE:  
ALL OF THE SHOWN BUILDING AREAS CAN  
BE MODIFIED, BUT ILLUSTRATE THAT THE  
LOT IS BUILDABLE WITH A 50' SETBACK  
FROM THE RIGHT-OF-WAY. PROPERTY  
OWNERS ARE STILL REQUIRED TO PROVIDE  
A SITE PLAN FOR APPROVAL.

[illegible]

1546 # 445!

[illegible]



**Zoller, Naffar & Shroyer, Inc.**  
 Engineers, Planners, Surveyors,  
 Landscape Architects & Environmental Consultants  
 101 W. WARE ST. SUITE 200  
 TAMPA, FL 33606  
 TEL: 813.241.1111 FAX: 813.241.1112  
 E-MAIL: ZNS@ZNS-FL.COM  
 WWW.ZNS-FL.COM  
 DESIGNED BY: [Signature] DATE: 8/19/97  
 DRAWN BY: [Signature] JOB NO.: 819-1812 SCALE: 1" = 300'

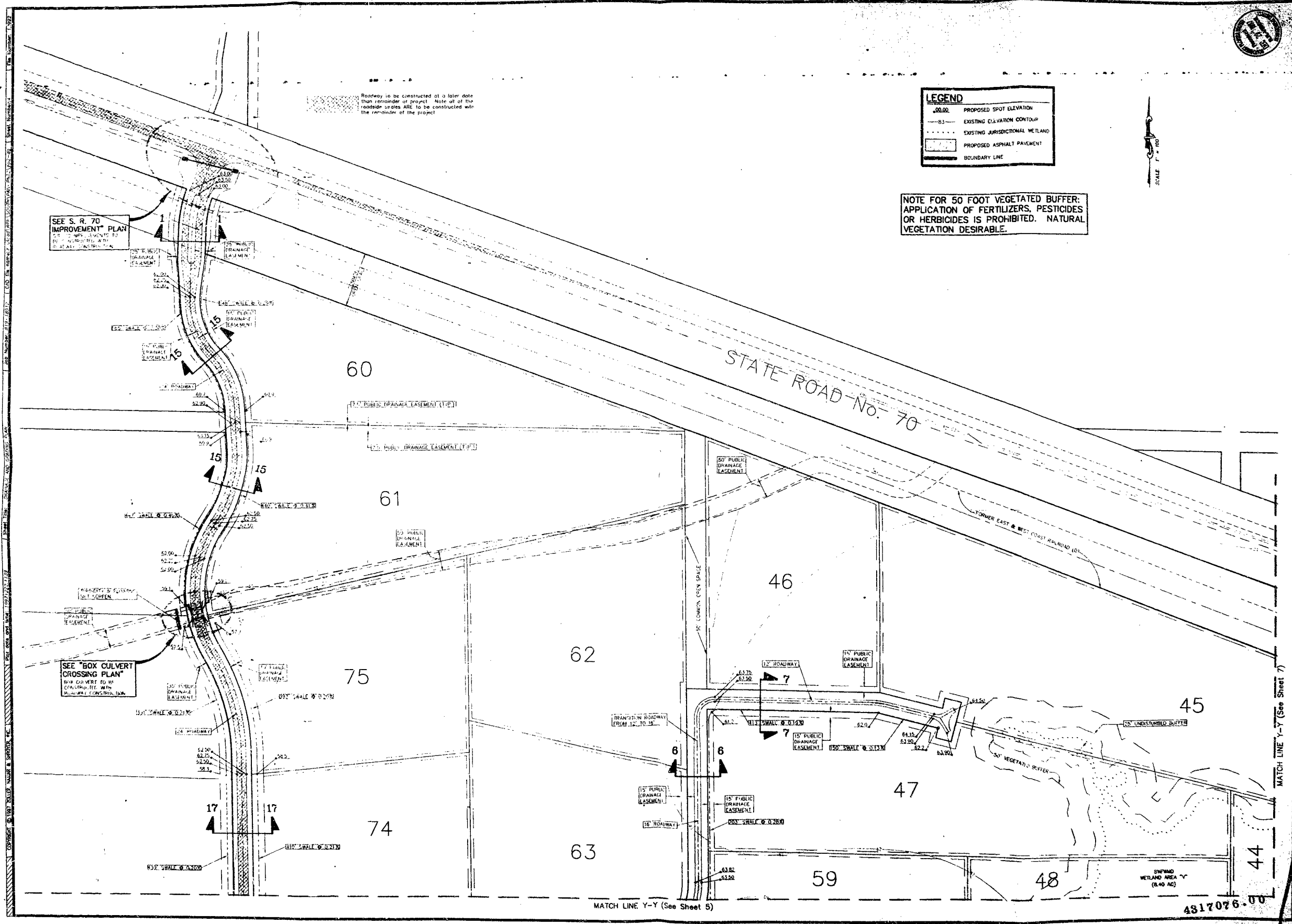
| REVISIONS             |
|-----------------------|
| 1. ISSUED FOR BIDDING |
| 2. REVISIONS          |
| 3. NO. REV. DATE & BY |
| 4. NO. REV. DATE & BY |
| 5. NO. REV. DATE & BY |
| 6. NO. REV. DATE & BY |
| 7. NO. REV. DATE & BY |

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 IN COMPLIANCE WITH F.S. CHAPTER 119

INDEX SHEET  
 FOR  
**FOXWOOD**  
 LOCATED IN  
 SECTION 29-32, TOWNSHIP 35 SOUTH, RANGE 20 EAST  
 MANATEE COUNTY, FLORIDA



4817076.00



**LEGEND**

- PROPOSED SPOT ELEVATION
- EXISTING ELEVATION CONTOUR
- EXISTING JURISDICTIONAL WETLAND
- PROPOSED ASPHALT PAVEMENT
- BOUNDARY LINE

**NOTE FOR 50 FOOT VEGETATED BUFFER:**  
APPLICATION OF FERTILIZERS, PESTICIDES  
OR HERBICIDES IS PROHIBITED. NATURAL  
VEGETATION DESIRABLE.

**REVISIONS**

| NO. | DATE    | DESCRIPTION                 |
|-----|---------|-----------------------------|
| 1   | 10-1-77 | 1. PREPARED BY: J. J. JONES |
| 2   | 10-1-77 | 2. REVISED BY: J. J. JONES  |
| 3   | 10-1-77 | 3. REVISED BY: J. J. JONES  |
| 4   | 10-1-77 | 4. REVISED BY: J. J. JONES  |
| 5   | 10-1-77 | 5. REVISED BY: J. J. JONES  |
| 6   | 10-1-77 | 6. REVISED BY: J. J. JONES  |
| 7   | 10-1-77 | 7. REVISED BY: J. J. JONES  |

**DESIGNER:** J. J. JONES

**CHECKER:** J. J. JONES

**DATE:** 10-1-77

**JOB NO.:** 10-1-77

**SCALE:** 1" = 40'

**DRAINAGE AND GRADING PLAN**

**FOR**

**FOXWOOD**

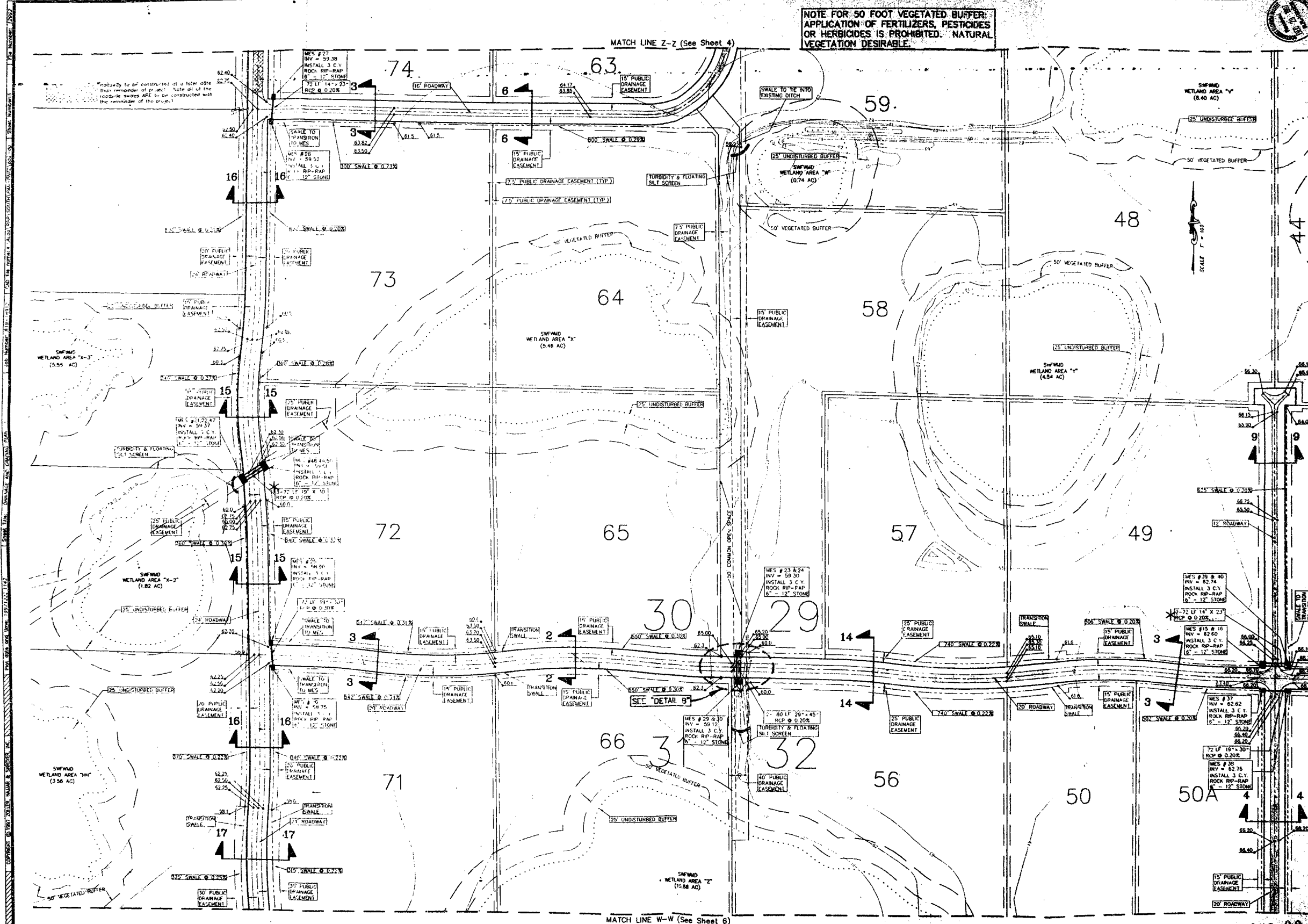
**LOCATED IN**

**SECTION 28-32, TOWNSHIP 38 SOUTH, RANGE 20 EAST**

**MANATEE COUNTY, FLORIDA**

**Zeller, Nijer & Shroyer, Inc.**  
Engineers, Planners, Surveyors  
Landmarks, Aerials & Environmental Consultants  
1001 W. 1st St., Suite 100, St. Petersburg, FL 33705  
TEL: (813) 331-1111  
FAX: (813) 331-1112

NOTE FOR 50 FOOT VEGETATED BUFFER:  
APPLICATION OF FERTILIZERS, PESTICIDES  
OR HERBICIDES IS PROHIBITED. NATURAL  
VEGETATION DESIRABLE.



**Drainage and Grading Plan**  
for  
**FOXWOOD**  
LOCATED IN  
SECTION 30-32, TOWNSHIP 35 SOUTH, RANGE 20 EAST  
BAYVIEW COUNTY, FLORIDA

**Revisions**

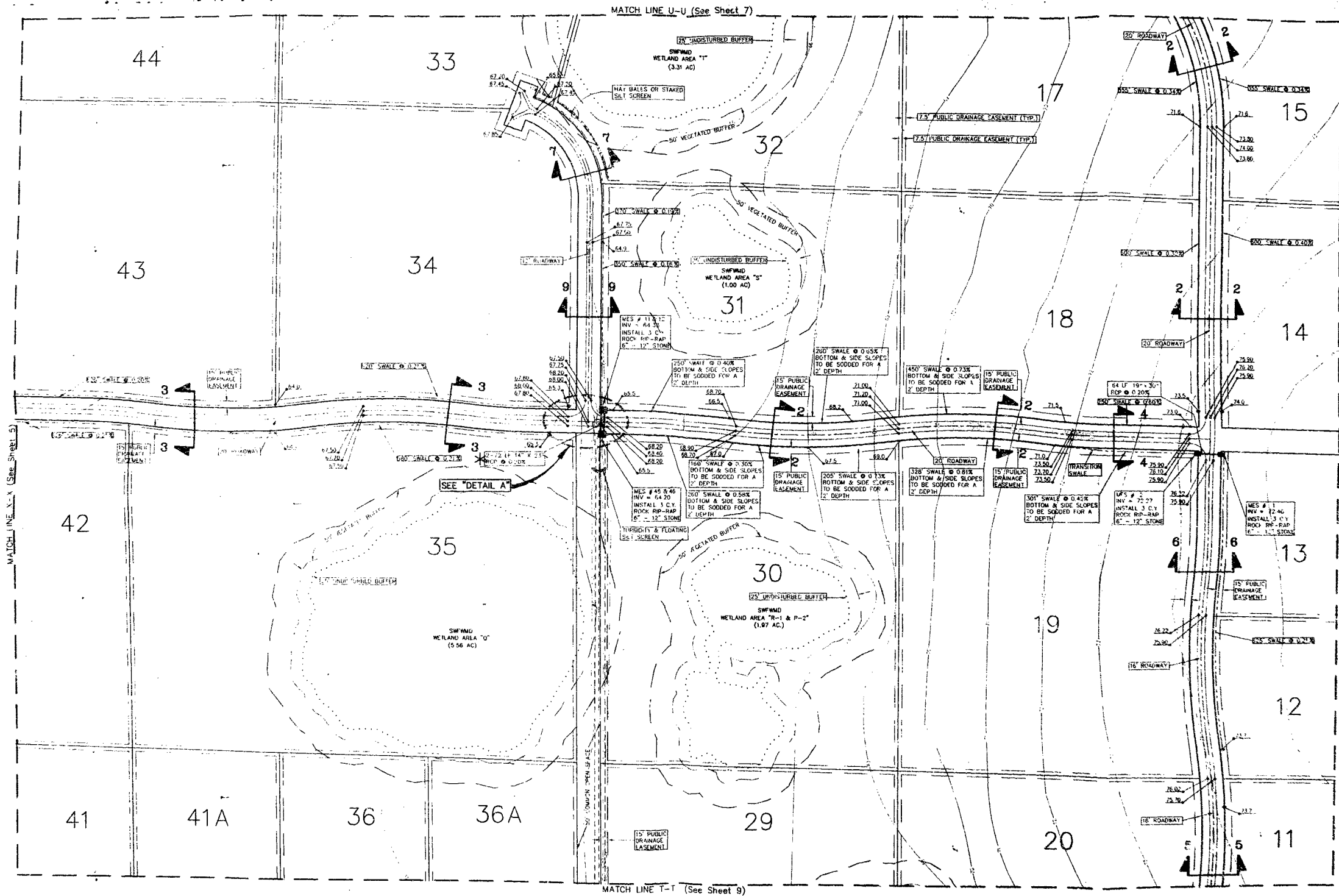
| NO. | DATE    | DESCRIPTION       |
|-----|---------|-------------------|
| 1   | 10/1/88 | ISSUED FOR PERMIT |
| 2   | 10/1/88 | AS NOTED          |
| 3   | 10/1/88 | AS NOTED          |
| 4   | 10/1/88 | AS NOTED          |
| 5   | 10/1/88 | AS NOTED          |
| 6   | 10/1/88 | AS NOTED          |
| 7   | 10/1/88 | AS NOTED          |

**Notes**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
3. ALL WETLAND AREAS SHALL BE PROTECTED AND RESTORED TO ORIGINAL OR BETTER CONDITION.
4. ALL SWALES SHALL BE CONSTRUCTED TO THE SPECIFIED GRADES AND WIDTHS.
5. ALL EASEMENTS SHALL BE MAINTAINED CLEAR OF OBSTRUCTIONS.
6. ALL UTILITIES SHALL BE DEPTH MARKED AND PROTECTED.
7. ALL MATERIALS SHALL BE OF THE QUALITY SPECIFIED IN THE NOTES.

4317076.00

NOTE FOR 50 FOOT VEGETATED BUFFER:  
APPLICATION OF FERTILIZERS, PESTICIDES  
OR HERBICIDES IS PROHIBITED. NATURAL  
VEGETATION DESIRABLE.



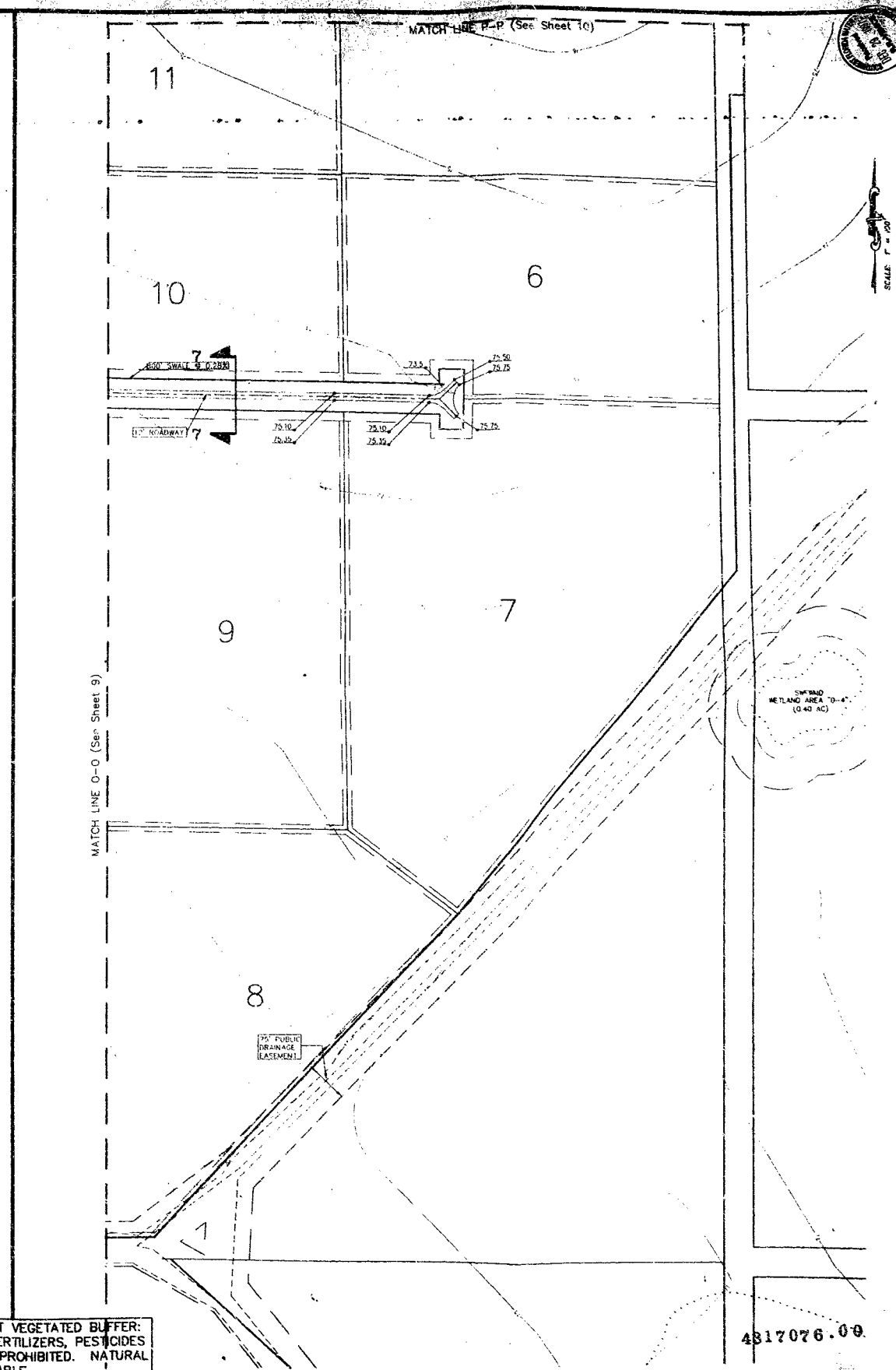
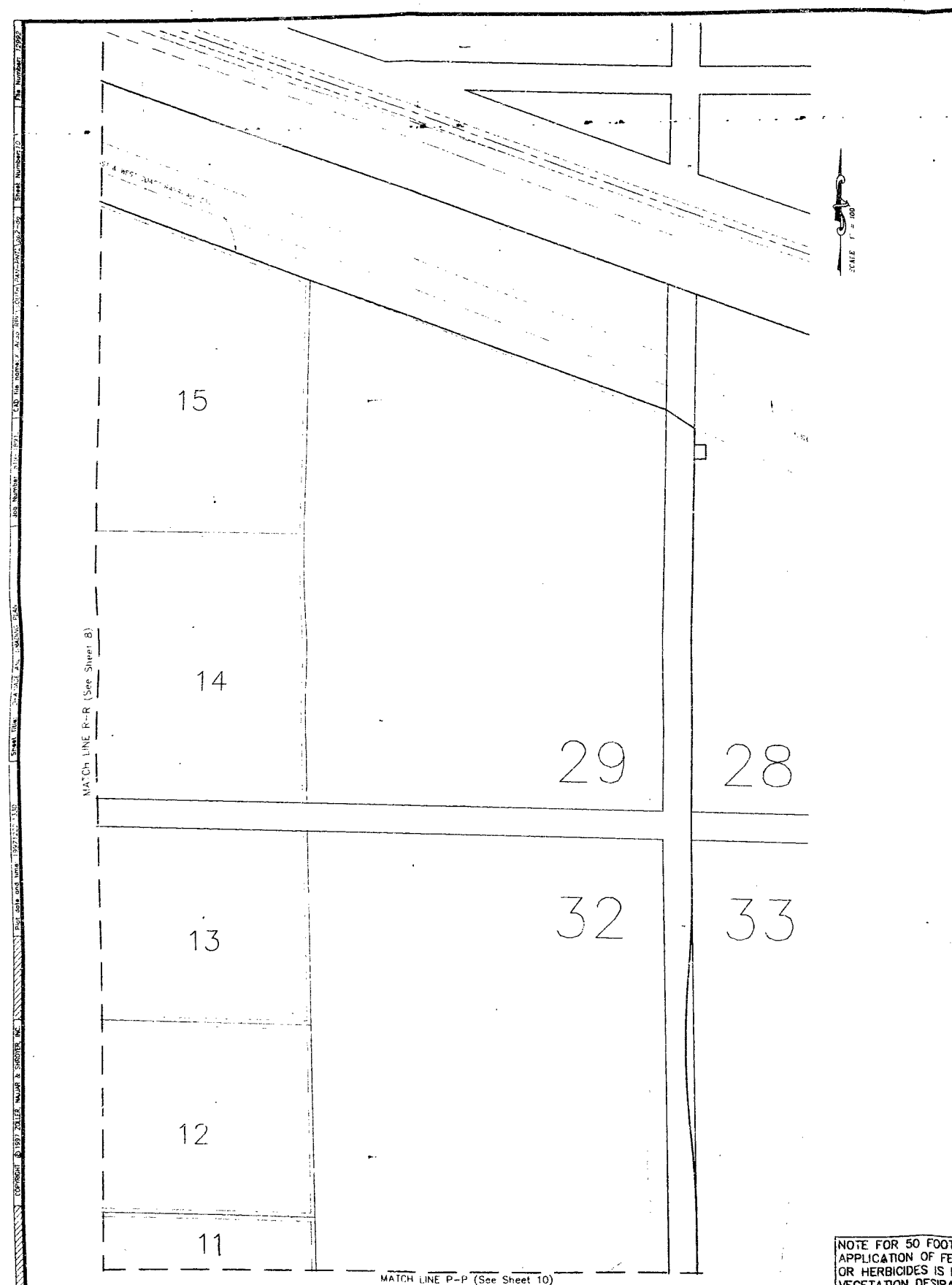
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14

DRAINAGE AND GRADING PLAN  
FOR  
FOXWOOD  
LOCATED IN  
SECTION 28-32, TOWNSHIP 35 SOUTH, RANGE 20 EAST  
MANATEE COUNTY, FLORIDA

Zoller, Naylor & Shroyer, Inc.  
Engineers, Planners, Surveyors  
Landmarks, Analysis & Environmental Consultants

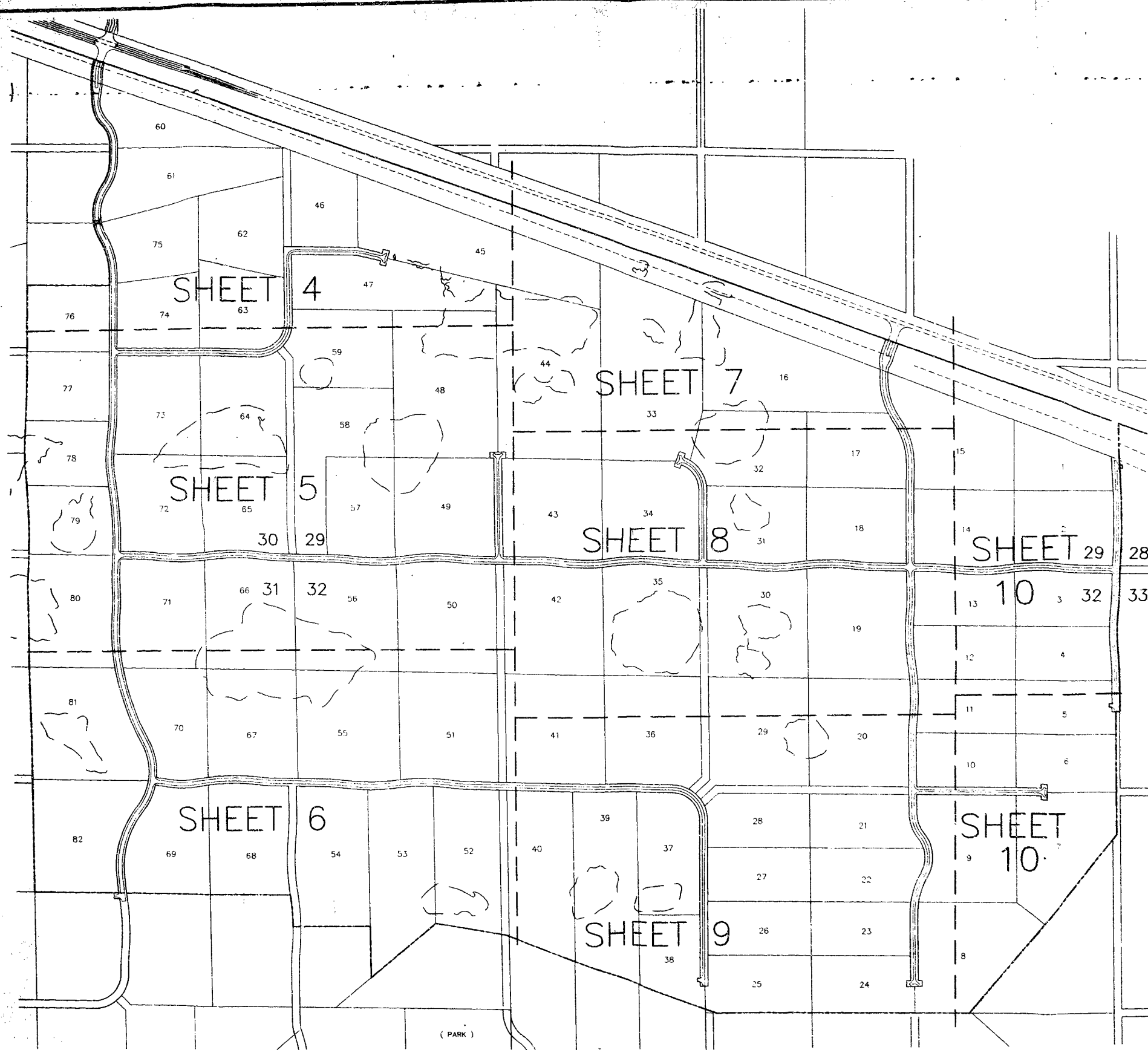
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**DRAINAGE AND GRADING PLAN**  
FOR  
**FOXWOOD**  
LOCATED IN  
SECTION 29-12, TOWNSHIP 35 SOUTH, RANGE 20 EAST  
MANATEE COUNTY, FLORIDA

| REVISONS |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
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| 2        | 1505, 1506, 1507, 1508 12-12-77                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
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**Zoller, Najjar & Skroyer, Inc.**  
 Engineers, Planners, Surveyors,  
 Landscape Architects & Environmental Consultants  
 10000 Wilshire Blvd., Suite 200  
 Los Angeles, CA 90024  
 Tel. (310) 205-1234 ext. 222  
 Telex 9450 ZNLS  
 Fax (310) 205-1234



4817076.00

INDEX SHEET  
FOR  
FOXWOOD

LOCATED IN  
SECTION 28-32, TOWNSHIP 35 SOUTH, RANGE 20 EAST  
MANATEE COUNTY, FLORIDA

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THIS MAP WAS PREPARED BY ZELLER, NAFAR & SHROYER, INC. FOR THE MANATEE COUNTY BOARD OF ALDERMEN. THE BOARD OF ALDERMEN HAS REVIEWED AND APPROVED THIS MAP FOR THE PURPOSES OF THE MANATEE COUNTY ZONING ORDINANCE. THE BOARD OF ALDERMEN HAS GRANTED SPECIFICALLY TO ZELLER, NAFAR & SHROYER, INC. THE RIGHT TO REPRODUCE THIS MAP IN COMPLIANCE WITH THE CHAPTER 118.

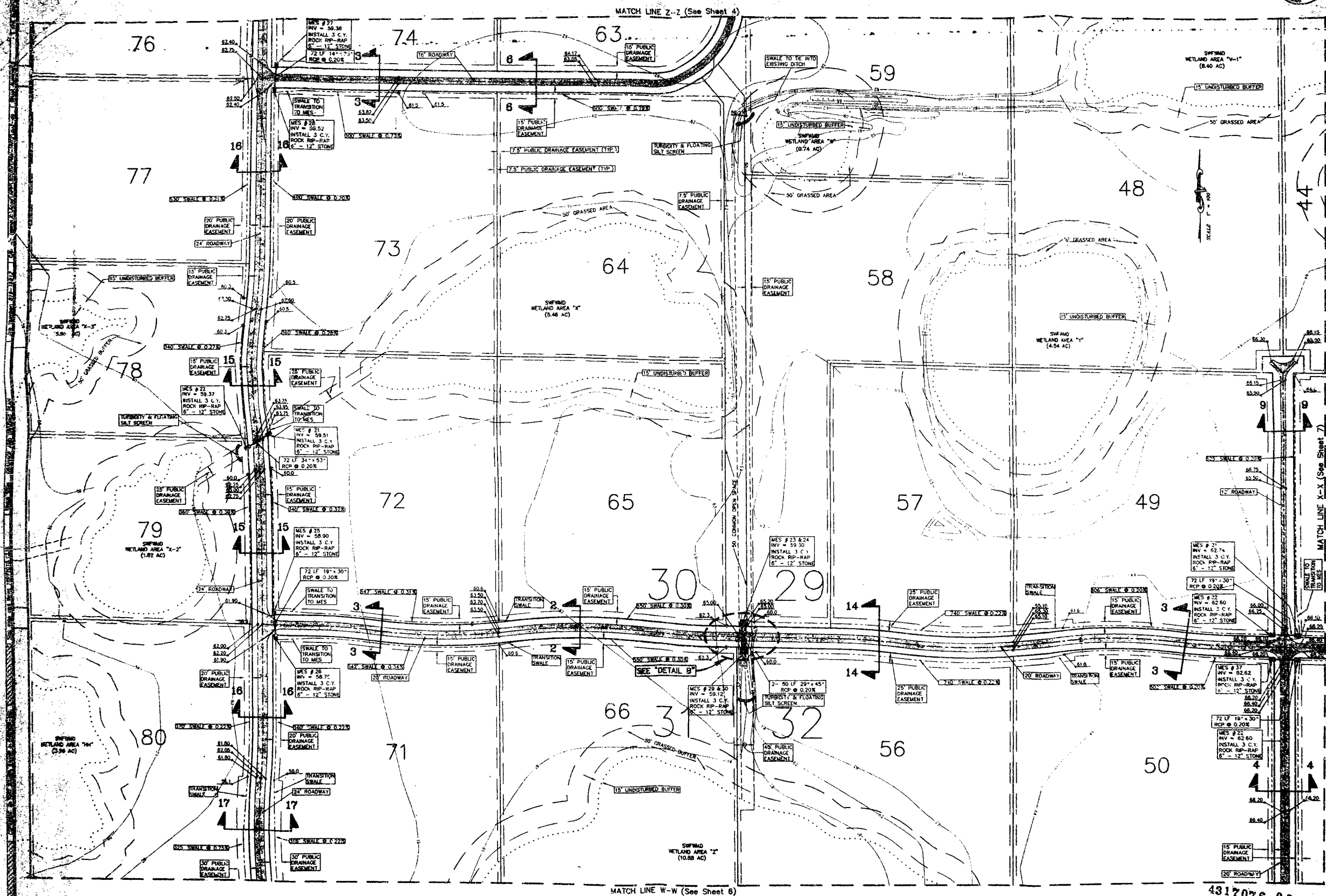
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Zeller, Nafar & Shroyer, Inc.

Engineers, Planners, Surveyors,  
Landscapers, Architects & Environmental Consultants

DESIGNED BY: [Signature]  
DRAWN BY: [Signature]  
DATE: 4/1/87  
JOB NO.: 111-1111  
SCALE: 1" = 300'



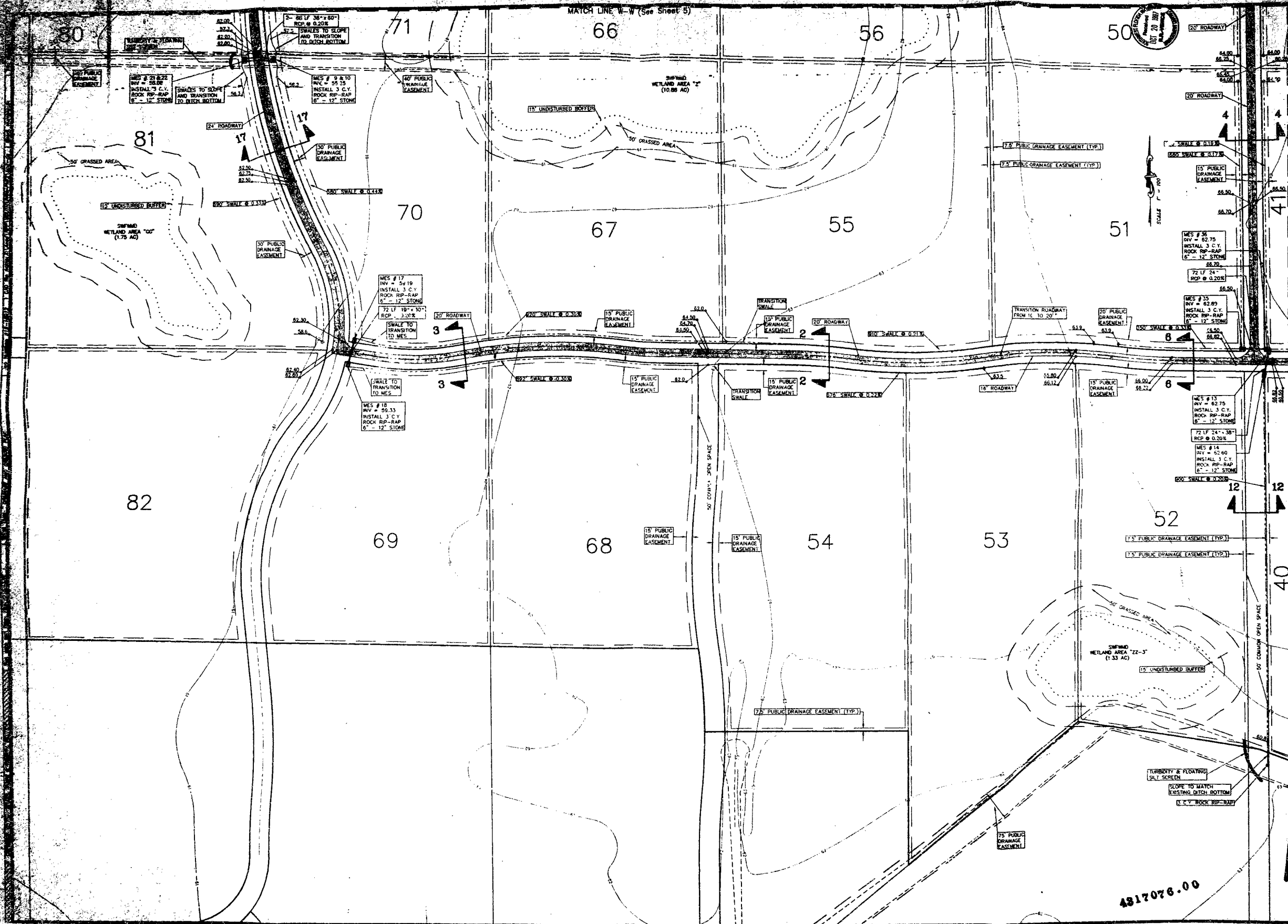


*Roller, Neff & Sawyer, Inc.*  
Engineers, Planners, Surveyors  
Landmarks Architects & Environmental Consultants  
1000 N. W. 10th Ave., Suite 200  
Fort Lauderdale, FL 33304  
Phone: (305) 555-1234  
Fax: (305) 555-1235  
E-Mail: info@rollerneff.com

PROVISIONS  
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, LATEST EDITION.  
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.  
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC ROADS AT ALL TIMES.  
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.  
5. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE DURING CONSTRUCTION.  
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND VEGETATION.  
7. THE CONTRACTOR SHALL MAINTAIN ADEQUATE EROSION CONTROL MEASURES.  
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING HISTORIC OR CULTURAL RESOURCES.  
9. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SAFETY MEASURES DURING CONSTRUCTION.  
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ENVIRONMENTAL RESOURCES.

**DRAINAGE AND GRADING PLAN**  
FOR  
**FOXWOOD**  
LOCATED IN  
SECTION 29-32, TOWNSHIP 35 SOUTH, RANGE 20 EAST  
WADSWORTH COUNTY, FLORIDA

4317076.00



**Drainage and Grading Plan**  
FOR  
**FOXWOOD**  
LOCATED IN  
SECTION 28-32, TOWNSHIP 35 SOUTH, RANGE 20 EAST  
BREVARD COUNTY, FLORIDA

**4317076.00**

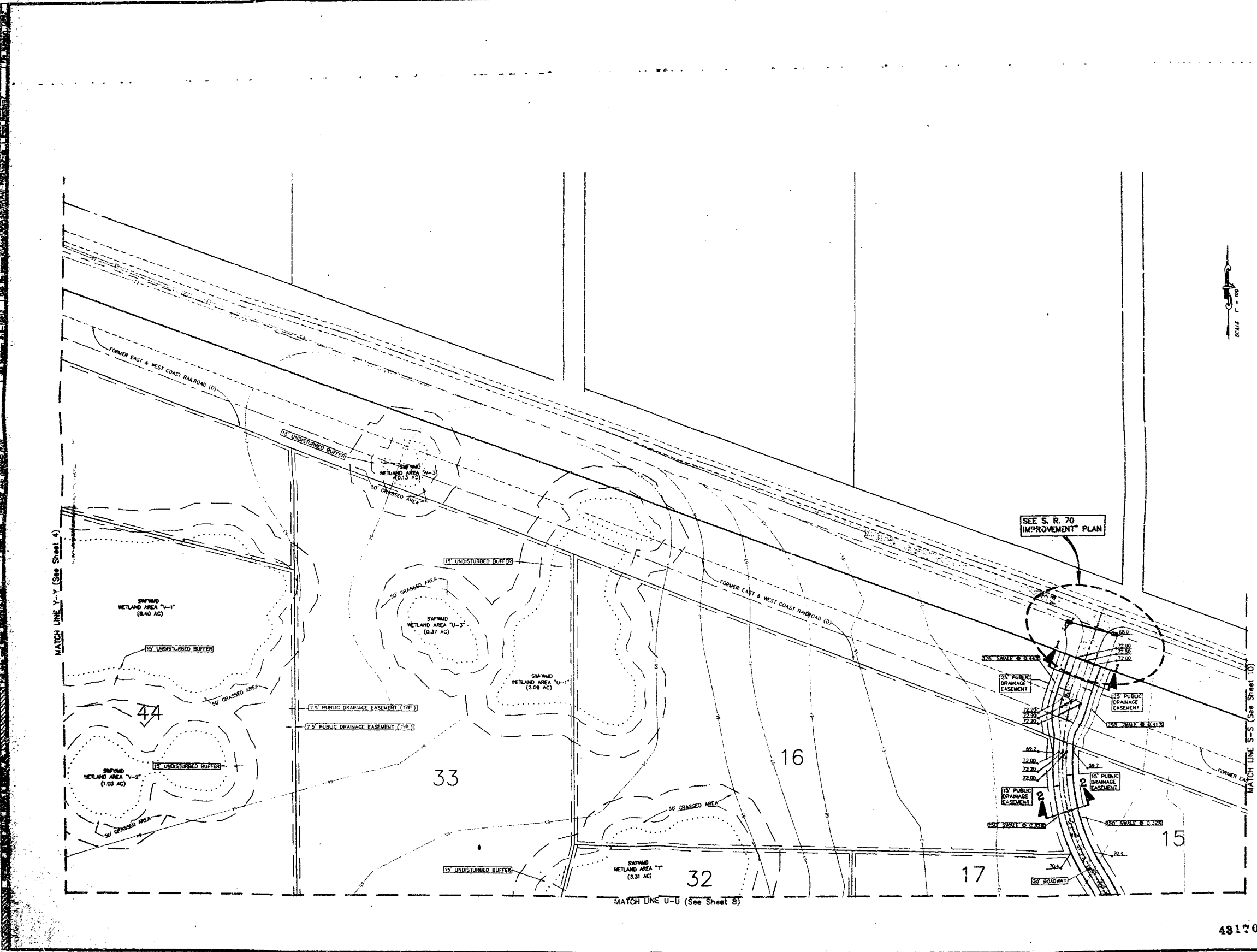
**REVISIONS**

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| 81  | 81.000 EX. LINE | 10-15-82 |
| 82  | 82.000 EX. LINE | 10-15-82 |

**DESIGNED BY:** J. J. JONES  
**CHECKED BY:** J. J. JONES  
**DATE:** 10-15-82  
**SCALE:** 1" = 40'

**FOOTNOTES:**

1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL ELEVATIONS ARE IN FEET ABOVE MEAN SEA LEVEL.
3. ALL SWALES ARE TO BE CONSTRUCTED TO THE SLOPE AND TRANSITION TO THE DITCH BOTTOM.
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SCALE 1" = 40'

100 16 991

**Zeller, Naffor & Shroyer, Inc.**  
 Engineers, Planners, Surveyors  
 2400 Highway 1, Suite 100  
 Jacksonville, Florida 32202  
 TEL: 904/251-1111  
 FAX: 904/251-1111  
 DATE: 10/16/99  
 JOB NO.: 100-1002  
 SCALE: 1" = 40'

| REVISIONS                       | DATE     | BY | CHKD BY |
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| 1. MOD. FOR PAGE                | 8-25-97  |    |         |
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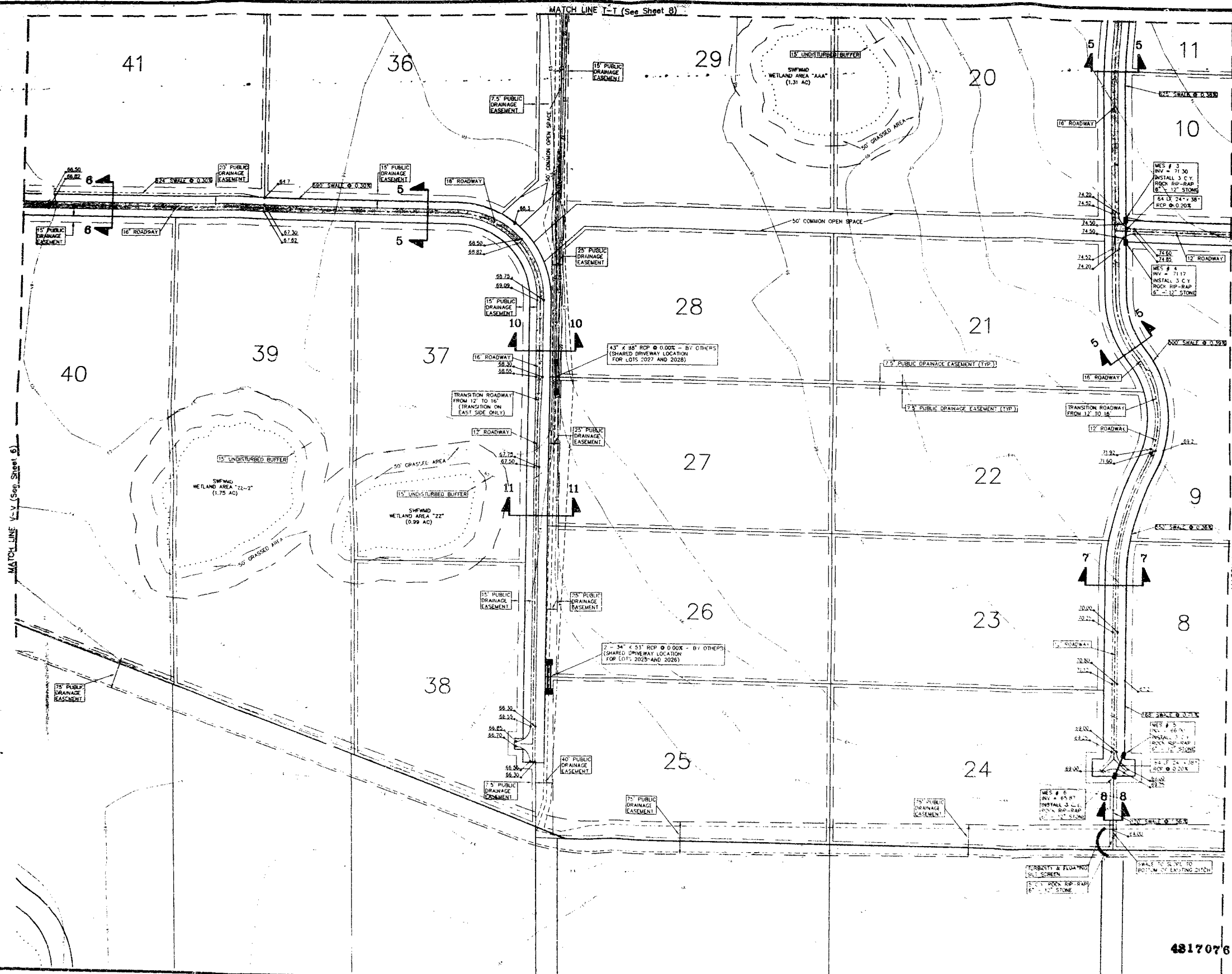
THIS PLAN IS A PART OF A PROJECT FOR THE IMPROVEMENT OF THE EAST & WEST COAST RAILROAD (D) IN SECTION 29-32, TOWNSHIP 28 SOUTH, RANGE 20 EAST, MANATEE COUNTY, FLORIDA. THE PROJECT IS OWNED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION. THE PROJECT IS BEING CONDUCTED IN ACCORDANCE WITH F.S. CHAPTER 119.

**DRAINAGE AND GRADING PLAN**  
 FOR  
**FOXWOOD**  
 LOCATED IN  
 SECTION 29-32, TOWNSHIP 28 SOUTH, RANGE 20 EAST  
 MANATEE COUNTY, FLORIDA

**ENCLOSURE**

4817076.00





SCALE 1" = 40'

**Zoller, Nafar & Shroyer, Inc.**  
 Engineers, Planners, Surveyors  
 Landscape Architects & Environmental Consultants  
 1815 W. 20th Ave., Suite 100, Fort Lauderdale, FL 33311  
 TEL: 754-546-1111 FAX: 754-546-1112  
 DESIGNED BY: JNS DATE: 4-8-97  
 DRAWN BY: JNS JOB NO.: 97-0011 SCALE: 1" = 40'

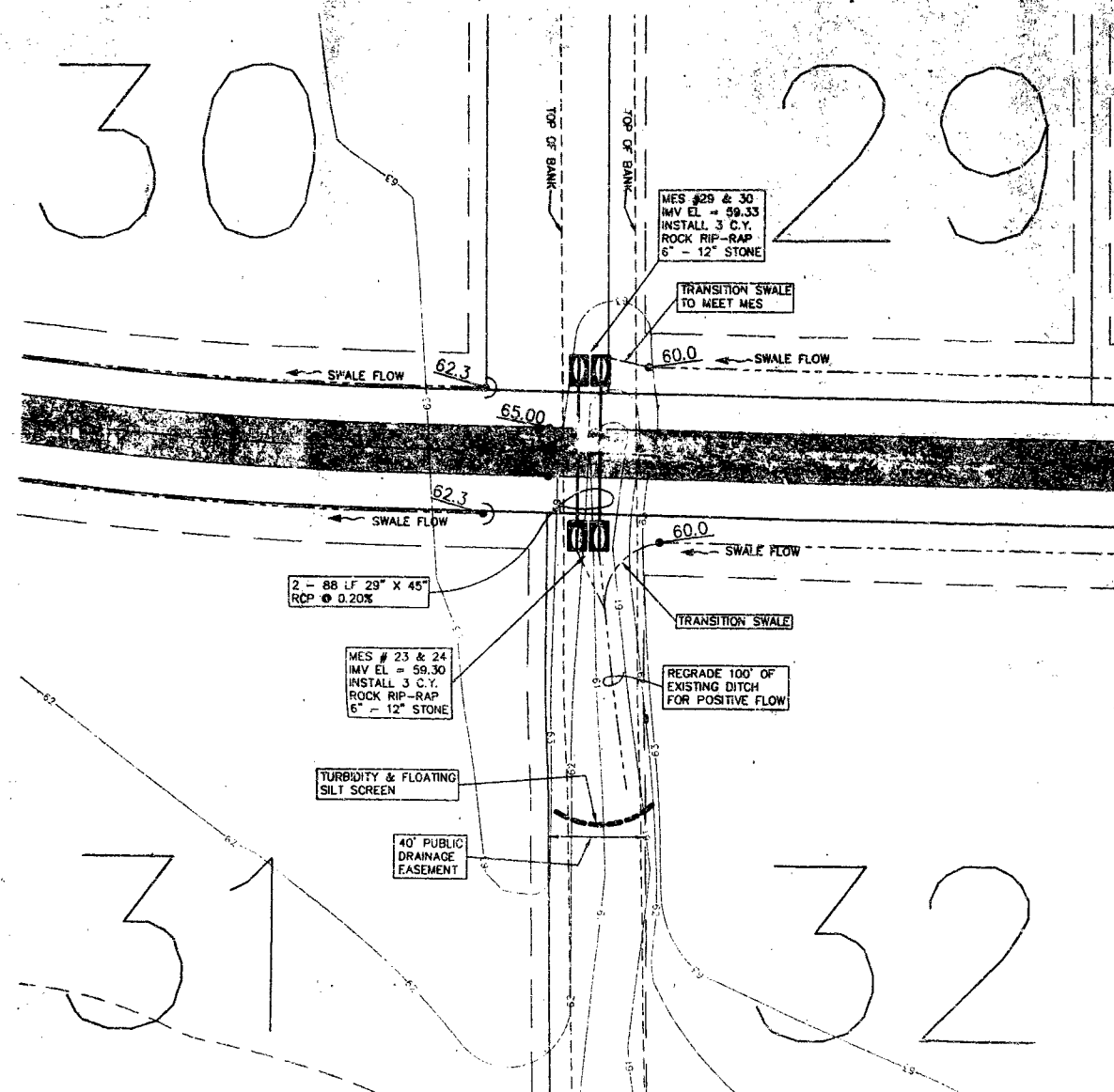
REVISIONS

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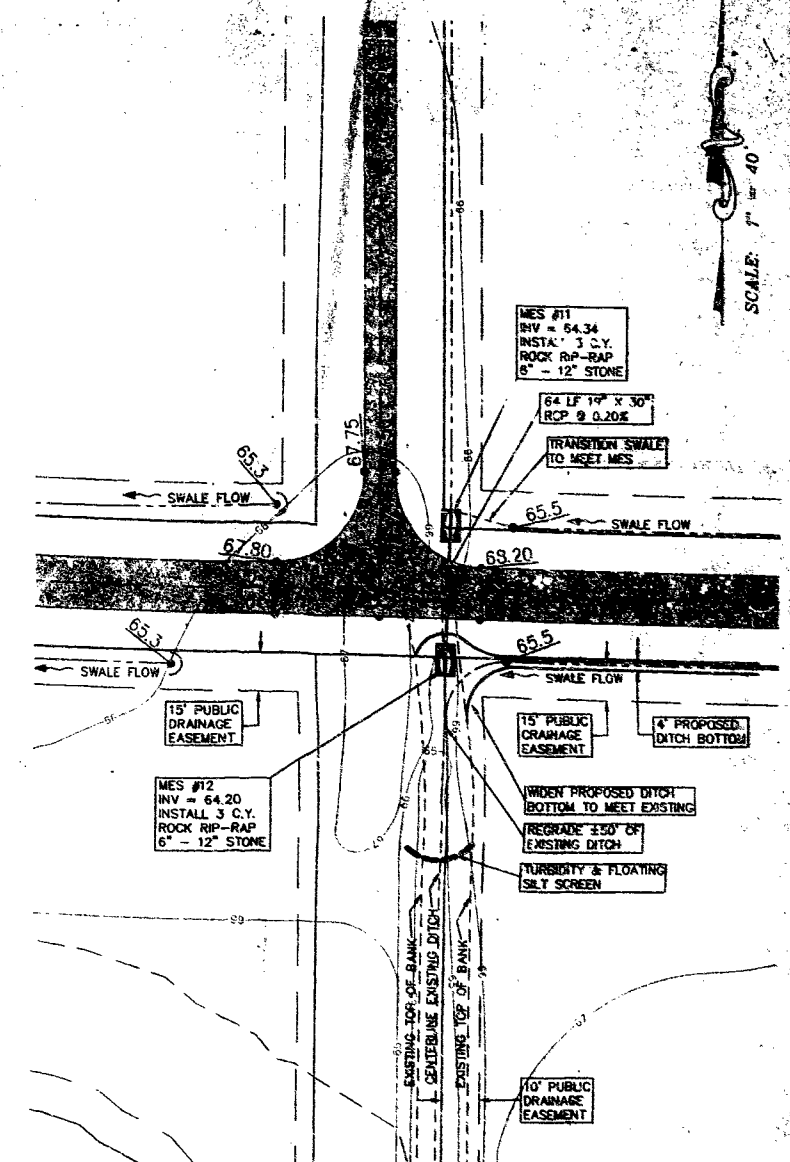
**DRAINAGE AND GRADING PLAN**  
 FOR  
**FOXWOOD**  
 SECTION 29-32, TOWNSHIP 31 SOUTH, RANGE 20 EAST  
 MANATEE COUNTY, FLORIDA

4817076.00 *JNS*





DETAIL "B"



DETAIL "A"

Dallas, McFarlane & Schaefer, Inc.  
 Engineers, Planners, Architects  
 10000 North Loop West, Suite 1000  
 Houston, Texas 77040  
 Phone: (713) 861-1111  
 Fax: (713) 861-1112

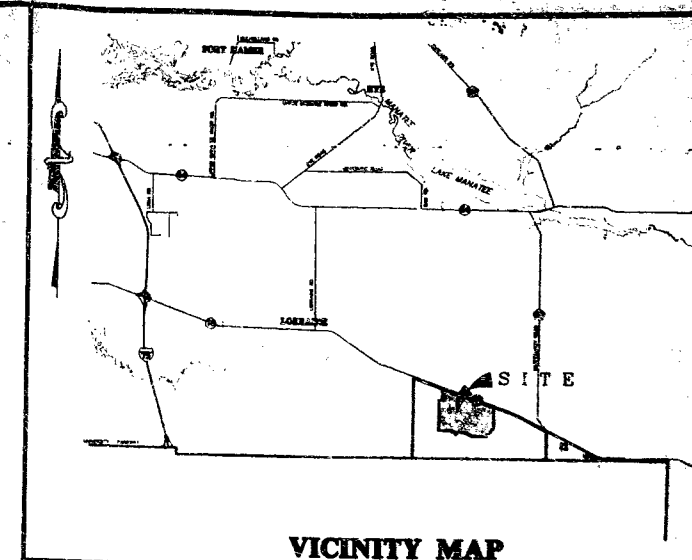
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INTERSECTION DETAILS  
 FOR  
 FOXWOOD  
 LOCATED AT THE INTERSECTION OF  
 COUNTY ROAD 28 AND COUNTY ROAD 111  
 IN HARRIS COUNTY, TEXAS

4817076.00  
 24

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VICINITY MAP

## SITE WORK CONSTRUCTION PLANS

TO SERVE

## FOXWOOD

LOCATED IN

SECTION 29 - 32, TOWNSHIP 35 SOUTH, RANGE 20 EAST  
MANATEE COUNTY, FLORIDA

PERMITTEE SHALL NOTIFY IN WRITING  
THE VENUE RECORDING DEPARTMENT,  
SOUTHWEST FLORIDA WATER MANAGEMENT  
DISTRICT, WHEN CONSTRUCTION BEGINS.

SOUTHWEST FLORIDA WATER  
MANAGEMENT DISTRICT  
PERMITTED CONSTRUCTION  
DRAWINGS

4317076 00

PREPARED FOR:  
RANCH PROPERTY PARTNERS, LTD.  
by RANCH PROPERTY INC.  
3651 CORTEZ ROAD W., SUITE 300  
BRADENTON, FLORIDA 34210  
TELE. (941) 753-1616

PREPARED BY:  
ZOLLER, NAJJAR & SHROYER, INC.  
P.O. BOX 9448  
201 5TH AVENUE DRIVE EAST  
BRADENTON, FLORIDA 34206  
TELE: (941) 748-8080



FOXWOOD

Permit

25

## DRAINAGE AND GRADING

1. ALL CONSTRUCTION IS TO BE STAKED IN THE FIELD BY OR UNDER THE SUPERVISION OF A FLORIDA REGISTERED LAND SURVEYOR.
2. THE CONTRACTOR IS TO PROVIDE THE OWNER OF RECORD WITH PROPOSED RECORD DRAWINGS SHOWING ALL IMPROVEMENT LOCATIONS AND ELEVATIONS IN ACCORDANCE WITH LATEST MANATEE COUNTY PLANNING, ZONING AND INSPECTIONS (PZIS) AND SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT (SWFMD) STANDARDS. THE CONTRACTOR SHALL ALSO PROVIDE TWO PRINTS, SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR, OF THE RECORD DRAWINGS TO THE ENGINEER. THESE RECORD DRAWINGS SHALL BE CERTIFIED TO THE OWNER, APPROPRIATE GOVERNMENTAL AGENCIES AND TO ZOLLER, NAFER & SHRYVER, INC.

IF CONSTRUCTION STATEMENT IS PROVIDED BY THE OWNER, THE CONTRACTOR SHALL ACCURATELY RECORD THE LOCATION OF ALL WORK THAT MAY SUBSEQUENTLY BECOME CONCEALED OR INACCESSIBLE, AS WELL AS MADE OR EXPOSED UNDERGROUND FACILITIES AS NECESSARY TO FACILITATE THE PREPARATION OF THE RECORD DRAWINGS BY THE OWNER, AND PROVIDE SAID INFORMATION TO THE OWNER.

3. TO PREVENT SEDIMENTARY RUNOFF DURING CONSTRUCTION, STAKED HAY BALES, STAKED SILT BARRIERS, OR INLET DEBRIS CONTROL SCREENS ARE TO BE PLACED AT STORM INLETS, OUTFALL LOCATIONS AND ADJACENT PROPERTY LINES AS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SEDIMENTATION BARRIERS IN A WORKING MANNER FOR THE DURATION OF CONSTRUCTION AND SHOULD BE CHECKED DAILY. SILTATION ACCUMULATIONS GREATER THAN THE LESSER OF 12 INCHES OR ONE-HALF OF THE DEPTH OF THE SEDIMENTATION BARRIER SHALL BE IMMEDIATELY REMOVED AND REPLACED IN UPLAND AREAS. IN ADDITION TO SPECIFIED EROSION CONTROL LOCATIONS, THE CONTRACTOR SHALL PERFORM DAILY SITE INSPECTIONS FOR POTENTIAL EROSION PROBLEMS. IF PROBLEMS OCCUR, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING APPROPRIATE EROSION CONTROL IMMEDIATELY. STORMWATER TREATMENT FACILITIES INCLUDING OUTFALL PER DETAIL ARE TO BE CONSTRUCTED EARLY IN SITE DEVELOPMENT, WITH NO OFF-SITE UNTREATED RUNOFF OCCURRING DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING TEMPORARY EROSION CONTROL DEVICES FOLLOWING COMPLETION OF ALL CONSTRUCTION AND FINAL STABILIZATION.

4. ALL UTILITIES AND/OR DRAINAGE SHOWN AS EXISTING WERE DERIVED FROM THE BEST AVAILABLE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACTUAL LOCATION, SIZE, TYPE AND AMOUNT OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR TO NOTIFY "CANDY" MOPCO AND FIRM 45 HOURS MINIMUM PRIOR TO START OF CONSTRUCTION FOR POSSIBLE UTILITY LOCATIONS NOT SHOWN ON PLANS.

5. ALL PIPE LENGTHS SHOWN ON PLAN VIEW ARE TO THE END OF THE MITERED END SECTION. REFER TO MITERED END SECTION DETAIL FOR LENGTH OF PIPE TO BE INCLUDED IN PRICE FOR MITERED END SECTION.

6. RIGHT OF WAY USE PERMIT TO BE OBTAINED BY THE CONTRACTOR FOR OFF-SITE CONSTRUCTION.

7. THE CONTRACTOR SHALL VERIFY TOPOGRAPHY AND SATISFY HIMSELF AS TO THE EXTENT OF FILL NECESSARY TO ACHIEVE PROPOSED GRADE PRIOR TO AWARD OF CONTRACT. THERE SHALL BE NO CLAIM FOR EXTRA NOT-WITHSTANDING SITE PLAN REVISIONS PROMULGATED SUBSEQUENT TO AWARD OF CONTRACT.

THE CONTRACTOR IS RESPONSIBLE FOR ESTIMATING AND CALCULATING ALL CUT AND FILL QUANTITIES. PRIOR TO BID SUBMISSION THE CONTRACTOR SHALL CONDUCT ANY ADDITIONAL SURVEYS AND SOIL TESTS HE DEEMS NECESSARY TO CALCULATE THE CUT AND FILL QUANTITIES PROPERLY. ADDITIONAL SURVEYS AND TESTS MADE BY THE CONTRACTOR SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.

8. ALL BODERS ARE HEREBY ADVISED THAT ALL EXCAVATION ON THIS PROJECT MUST COMPLY WITH FLORIDA STATUTE 88-08 "TRENCH SAFETY ACT", AND THAT THE COST OF COMPLIANCE IS TO BE INCLUDED IN HIS BASE BID. THE BODER SHALL INDICATE ON THE BID FORM THE COSTS ASSOCIATED WITH COMPLIANCE.
9. SUITABLE FILL MATERIAL FROM STORMWATER FACILITIES EXCAVATION SHALL BE UTILIZED FOR PROJECT FILL PER GRADING SPECIFICATIONS. UNSUITABLE MATERIAL SHALL BE PLACED IN OPEN AREAS ONLY AS DIRECTED BY THE PROJECT ENGINEER AND SOILS ENGINEER.

10. REFER TO GRADING DETAIL SHEETS FOR CROSS SECTION DETAILS.

11. REFER TO CONSTRUCTION TECHNICAL SPECIFICATIONS FOR COMPACTION REQUIREMENTS, GRASSING/SODDING REQUIREMENTS, AND PAVING CONSTRUCTION MATERIAL SPECIFICATIONS.

12. ALL EASEMENTS AS SHOWN WITHIN THE PROJECT BOUNDARY LOTS ARE TO BE GRANTED IN CONJUNCTION WITH RECORD PLAT PROCESSING.

13. ALL FILL AREAS ARE TO BE CONSTRUCTED IN 12" MAXIMUM LIFTS.

14. ALL PROPOSED CONSTRUCTION IS TO MEET OR EXCEED LATEST APPLICABLE MANATEE COUNTY CONSTRUCTION STANDARDS AND IS TO MEET ENGINEER'S SPECIFICATIONS. ALL PROPOSED CONSTRUCTION IS TO BE PUBLICLY OWNED AND OPERATED. RIGHT OF WAY AND OTHER OFF-SITE IMPROVEMENTS SHALL BE PUBLICLY OWNED AND MAINTAINED FOLLOWING COMPLETION AND ACCEPTANCE.

15. THE CONTRACTOR IS TO COORDINATE THE LOCATION AND ELEVATION OF ALL FILL, GTE AND IRRIGATION SERVICE SLEEVES WITH RESPECTIVE AGENCY PRIOR TO CONSTRUCTION.

16. THE CONTRACTOR IS TO ASSURE HIMSELF THAT ALL UNDERGROUND UTILITIES AND STORM SEWER IS CONSTRUCTED, TESTED AND OPERATIONAL PRIOR TO ANY ROADWAY CONSTRUCTION.

17. ALL PROPOSED ELECTRICAL AND COMMUNICATION SERVICES ARE TO BE LOCATED UNDERGROUND AS DIRECTED BY RESPECTIVE AGENCY.

18. CONTRACTOR TO OBTAIN APPLICABLE PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

19. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND ISSUANCE OF ALL COMMENCEMENT AND/OR PROGRESS NOTICES TO GOVERNMENTAL AGENCIES DURING THE COURSE OF CONSTRUCTION, AS REQUIRED FOR INSPECTION, TESTING AND TRACKING FOR APPLICABLE AGENCY PERMIT CONDITIONS.

## CLEARING AND GRUBBING NOTES

1. EROSION CONTROL PREVENTIVE METHODS, SILT SCREENING AND/OR HAY BALES, TO BE IN PLACE PRIOR TO COMMENCEMENT OF EARTHWORK CONSTRUCTION TO MINIMIZE EROSION AND SEDIMENTARY RUNOFF. THE CONTRACTOR SHALL PERFORM DAILY SITE INSPECTIONS FOR ANY POTENTIAL EROSION PROBLEMS. IF ANY POTENTIAL EROSION PROBLEMS ARE ENCOUNTERED, OR HAVE OCCURRED, THE CONTRACTOR SHALL INSTALL PROPER EROSION CONTROL MEASURES IMMEDIATELY. STORMWATER TREATMENT FACILITIES ARE TO BE CONSTRUCTED EARLY IN SITE DEVELOPMENT, WITH NO UNTREATED RUNOFF OFF-SITE OCCURRING DURING CONSTRUCTION.

2. EROSION CONTROL AND FUGITIVE PARTICULATE ABATEMENT PLANS ARE THE RESPONSIBILITY OF THE CONTRACTOR. REFER TO EROSION CONTROL PLAN FOR ADDITIONAL INFORMATION.

3. WETLAND BOUNDARY AND BUFFER AREAS TO BE CLEARLY DELINEATED ON SITE PRIOR TO INITIAL CLEARING AND GRADING ACTIVITIES. THE DELINEATION SHALL SHOW THROUGHOUT THE CONSTRUCTION PERIOD, AND BE READILY DISCERNIBLE TO CONSTRUCTION PERSONNEL.

THE WETLAND (JURISDICTIONAL) AND BUFFER AREAS ARE TO BE IDENTIFIED IN THE FIELD WITH STAKES AND PLACED STORM USES (STRING LINE 8' ABOVE GROUND WITH PLACING AT 10' INTERVALS) PRIOR TO COMMENCEMENT OF CLEARING AND GRUBBING. THE STRING LINE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL STAY OUT OF THE EXISTING WETLAND AND BUFFER AREAS, EXCEPT WHERE PLANS CALL OUT SPECIFIC WORK TO BE PERFORMED.

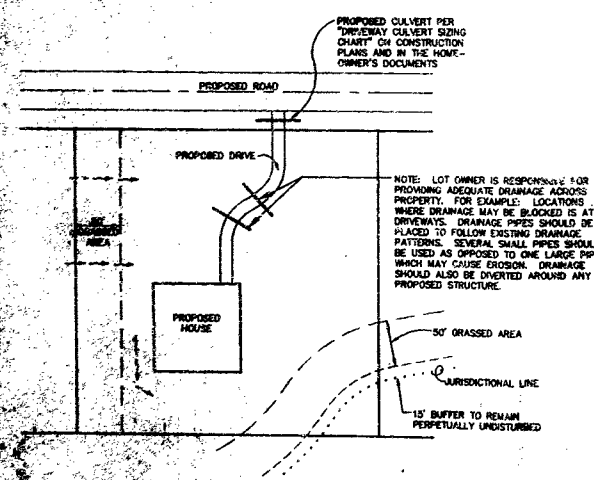
4. ALL EXISTING TREES AND BRUSH DESIGNATED FOR REMOVAL ARE TO BE CLEARED AND DISPOSED OF OFF-SITE, OR BURNED ON-SITE IF APPROVED BY THE DISTRICT FIRE DEPARTMENT AND COUNTY HEALTH DEPT. ALL EXISTING TREES AND UNDERBUSH AREAS THAT ARE TO REMAIN UNDISTURBED SHALL BE PROTECTED BY BARRIERS. THE CONTRACTOR SHALL INSTALL SAID BARRIERS AT COMMENCEMENT OF CONSTRUCTION AND REMOVE FOLLOWING FINAL GRADING AND LANDSCAPING.

5. SODDING AND/OR GRASSING TO BE COMPLETED IMMEDIATELY UPON COMPLETION OF FINISH GRADING. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE FUGITIVE PARTICULATE ABATEMENT PLAN (DUST CONTROL).

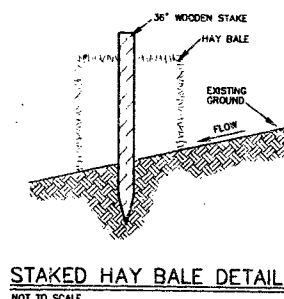
6. TOPOGRAPHIC AND PROPERTY SURVEYS GIVING LOT SIZE, GROUND ELEVATIONS, OBSTRUCTIONS ON SITE, LOCATION AND DEPTHS OF SEWERS, CONDUITS, PIPES, EXISTING STRUCTURES, CURBS, PAVEMENTS, TRACTS, AND SOIL BORING DATA GIVING THE NATURE OF GROUND AND SUB-SURFACE CONDITIONS HAVE BEEN OBTAINED FROM RELIABLE SOURCES. THE ACCURACY OF THIS DATA IS NOT GUARANTEED, AND IS FURNISHED SOLELY AS AN ACCOMMODATION TO THE CONTRACTOR. USE OF THIS DATA SHALL BE MADE AT THE CONTRACTOR'S DISCRETION. NO ADDITIONAL COMPENSATION WILL BE GRANTED DUE TO CONTRACTOR'S LACK OF KNOWLEDGE OF SITE CONDITIONS. PRIOR TO BID SUBMISSION, CONDUCT ANY ADDITIONAL SURVEYS AND SOIL TESTS YOU MAY DEEM NECESSARY TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED.

7. CONTRACTOR IS RESPONSIBLE FOR ESTIMATING AND CALCULATING ALL CUT AND FILL QUANTITIES. PRIOR TO BID SUBMISSION THE CONTRACTOR SHALL CONDUCT ANY ADDITIONAL SURVEYS AND SOIL TESTS HE DEEMS NECESSARY TO CALCULATE THE CUT AND FILL QUANTITIES PROPERLY. ADDITIONAL SURVEYS AND TESTS MADE BY THE CONTRACTOR SHALL BE MADE AT NO COST TO THE OWNER.

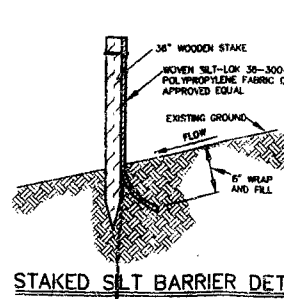
8. PROPOSED ROADWAY RIGHT-OF-WAY AREAS TO BE CLEARED OF ALL TREES AND BRUSH, AND STRIPPED TO A MINIMUM DEPTH OF 8" AND/OR BOTTOM OF ORGANIC LAYER.



TYPICAL LOT LAYOUT



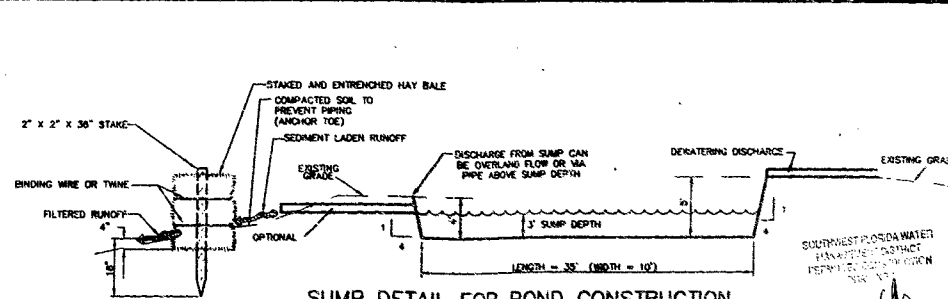
STAKED HAY BALE DETAIL  
NOT TO SCALE



STAKED SILT BARRIER DETAIL  
NOT TO SCALE

## EROSION CONTROL NOTES

1. TO PREVENT SEDIMENTARY RUNOFF DURING CONSTRUCTION, STAKED HAYBALES, STAKED SILT BARRIERS OR INLET DEBRIS CONTROL SCREENS ARE TO BE PLACED AT STORM INLETS, OUTFALL LOCATIONS AND ADJACENT PROPERTY LINES AS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SEDIMENTATION BARRIERS IN A WORKING MANNER FOR THE DURATION OF CONSTRUCTION AND SHOULD BE CHECKED DAILY. SILTATION ACCUMULATIONS GREATER THAN THE LESSER OF 12 INCHES OR ONE-HALF OF THE DEPTH OF THE SEDIMENTATION BARRIER SHALL BE IMMEDIATELY REMOVED AND REPLACED IN UPLAND AREAS. IN ADDITION TO SPECIFIED EROSION CONTROL LOCATIONS, THE CONTRACTOR SHALL PERFORM DAILY SITE INSPECTIONS FOR POTENTIAL EROSION PROBLEMS. IF PROBLEMS OCCUR, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING APPROPRIATE EROSION CONTROL IMMEDIATELY. STORMWATER TREATMENT FACILITIES INCLUDING OUTFALL PER DETAIL ARE TO BE CONSTRUCTED EARLY IN SITE DEVELOPMENT, WITH NO OFF-SITE UNTREATED RUNOFF OCCURRING DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING TEMPORARY EROSION CONTROL DEVICES FOLLOWING COMPLETION OF ALL CONSTRUCTION AND FINAL STABILIZATION.
2. CONTRACTOR TO KEEP CONSTRUCTION ACTIVITIES AND EQUIPMENT TO A MINIMUM AT OUTFALL LOCATIONS WHICH DISCHARGE TO EXISTING JURISDICTIONAL AREAS. FLOATING OR STAKED TURBIDITY BARRIERS ARE USED IN LIEU OF STAKED HAYBALES/SILT BARRIERS WHERE WARRANTED.
3. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN PLACE UNTIL THE SITE HAS BEEN STABILIZED AND REVEGETATED.
4. CONSTRUCTION METHOD AND MATERIALS TO BE IN ACCORDANCE WITH SECTION 104-5 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION SPECIFICATIONS. HAY BALES MUST BE BUTTED CLOSE TOGETHER AND HAVE NO GAPS TO ALLOW FLOW TO PASS THROUGH WITHOUT BEING FILTERED.
5. JOINTS OF THE FILTER FABRIC MUST BE OVERLAPPED AND PROPERLY CONNECTED TO PREVENT ANY OPENING FROM OCCURRING.



SUMP DETAIL FOR POND CONSTRUCTION  
WHERE USED TO GENERATE FILL  
NOT TO SCALE

## NOTES

1. CONTRACTOR TO USE THIS SUMP DETAIL WHERE POND EXCAVATION (WITHIN LOTS) IS TO OCCUR TO GENERATE FILL FOR THE ROADWAYS.
2. CONTRACTOR TO ASSURE THAT DRAINAGE ACTIVITIES DO NOT CAUSE EROSION AND THAT SUMP IS UTILIZED TO ALLOW FOR PARTICLE SEDIMENTATION.
3. SEDIMENT Sumps AND DISCHARGE EROSION CONTROL ARE TO BE IMPLEMENTED BEFORE ANY DRAINAGE ACTIVITIES OR EARTHWORK CONSTRUCTION. STORMWATER TREATMENT FACILITIES INCLUDING OUTFALLS PER DETAIL ARE TO BE CONSTRUCTED AFTER SEDIMENT Sumps.
4. SUMP SIZE BASED UPON AN ASSUMED DRAINAGE DISCHARGE OF 5 cfs. CONTRACTOR IS TO NOTIFY ENGINEER IF GREATER DISCHARGE IS PROPOSED. SUMP SIZE CAN BE RE-CALCULATED PER SECTION 3.2.4.0.
5. DRAINAGE WITHDRAWALS ARE TO BE FROM THE TOP OF THE WATER AREAS TO ALLOW FOR THE ADEQUATE SETTLING OF PARTICLES AND INSURE WATER QUALITY.
6. THE SUM OF WITHDRAWAL PIPES SHOULD BE LESS THAN 4 INCHES. PIPES GREATER THAN 4 INCHES WILL REQUIRE A WATER USE PERMIT WHICH IS THE RESPONSIBILITY OF THE CONTRACTOR.
7. CONTRACTOR IS TO NOTIFY ENGINEER OF ANY MODIFICATIONS PROPOSED BY THE CONTRACTOR TO THE DRAINAGE PLAN. CONTRACTOR IS RESPONSIBLE FOR PREPARATION OF ANY REQUIRED PLANS AND PROCESSING OF SAME.
8. DISCHARGE FROM Sumps SHOULD MAXIMIZE OVERLAND FLOW PRIOR TO ENTERING OUTFALL. STAKED HAYBALES WILL BE USED TO MINIMIZE SILTATION RUNOFF. CONTRACTOR IS RESPONSIBLE FOR UTILIZING ADEQUATE HAYBALES AT DISCHARGE LOCATIONS TO PREVENT SCOURING.
9. SEE PLAN VIEWS FOR EASEMENTS, EXISTING WETLAND LIMITS, ETC.

## EROSION CONTROL DETAILS



J. J. Noller, Noller & Shryver, Inc.  
Engineers, Planners, Surveyors & Landscape Architects  
101 N. W. 10th Ave., Suite 200  
Fort Lauderdale, FL 33304  
Tel: (954) 561-1234  
Fax: (954) 561-1235

REVISIONS  
1. MOD. SEE DETAIL  
2. 3. 4. 5. 6. 7.

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GENERAL NOTES & EROSION CONTROL DETAILS  
FOR  
FOXWOOD  
LOCATED IN  
SECTION 29-32, TOWNSHIP 35 SOUTH, RANGE 30 EAST  
MANATEE COUNTY, FLORIDA

26

Not Part of Permit



SCALE 1" = 200'



**Zoller, Napper & Shroyer, Inc.**  
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Landmarks, Antiquities & Environmental Consultants  
2000 N. W. 10th Ave., Suite 200  
Fort Lauderdale, FL 33304  
Phone: (954) 551-1111  
Fax: (954) 551-1112  
E-mail: info@zns.com

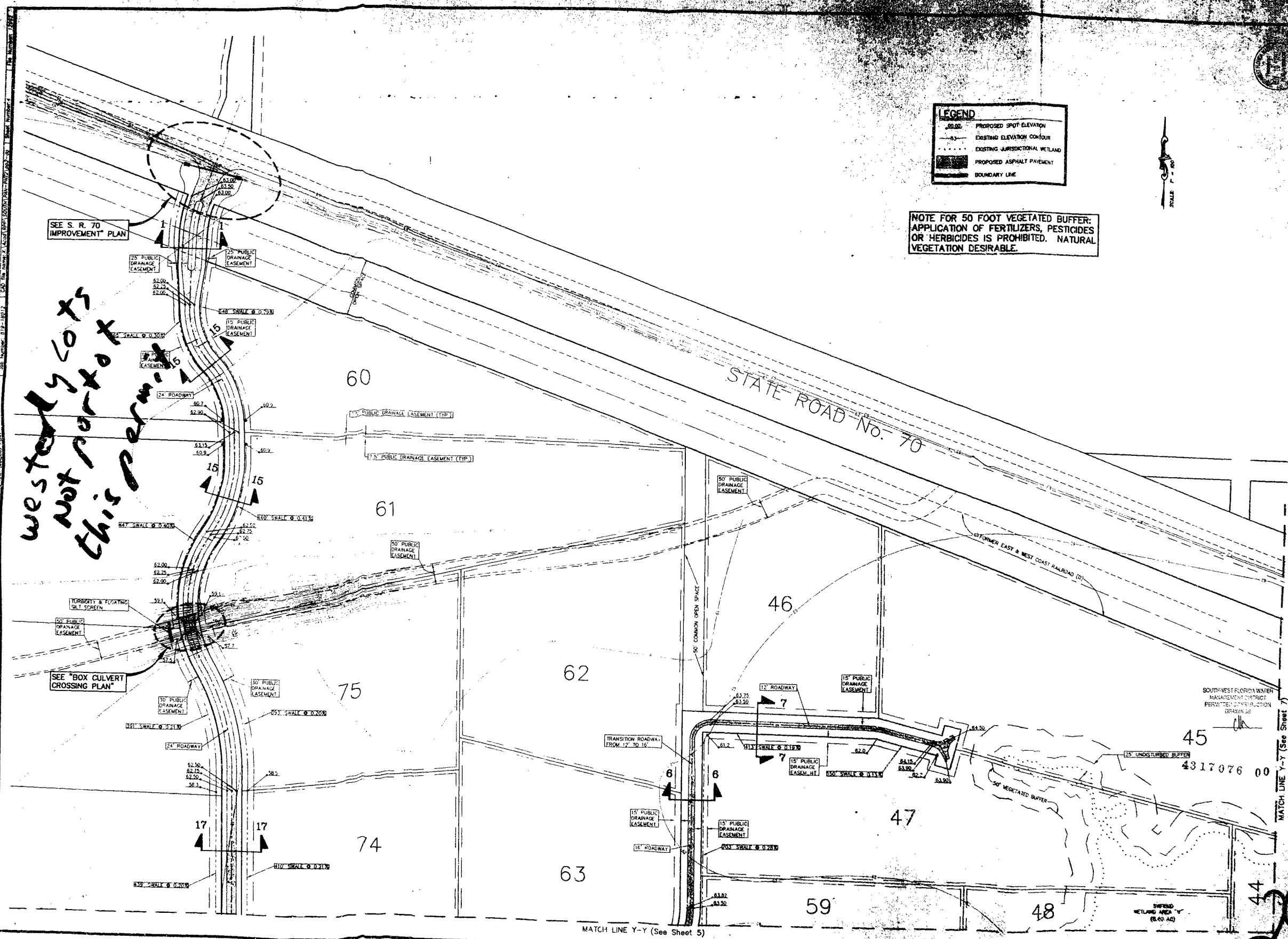
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**INDEX SHEET**  
FOR  
**FOXWOOD**  
LOCATED IN  
SECTION 29-32, TOWNSHIP 36 SOUTH, RANGE 20 EAST  
MANATEE COUNTY, FLORIDA

4817076 00

28



**LEGEND**

- PROPOSED SPOT ELEVATION
- EXISTING ELEVATION CONTOUR
- EXISTING JURISDICTIONAL WETLAND
- PROPOSED ASPHALT PAVEMENT
- BOUNDARY LINE

NOTE FOR 50 FOOT VEGETATED BUFFER:  
APPLICATION OF FERTILIZERS, PESTICIDES  
OR HERBICIDES IS PROHIBITED. NATURAL  
VEGETATION DESIRABLE.

western lots  
not part of  
this permit

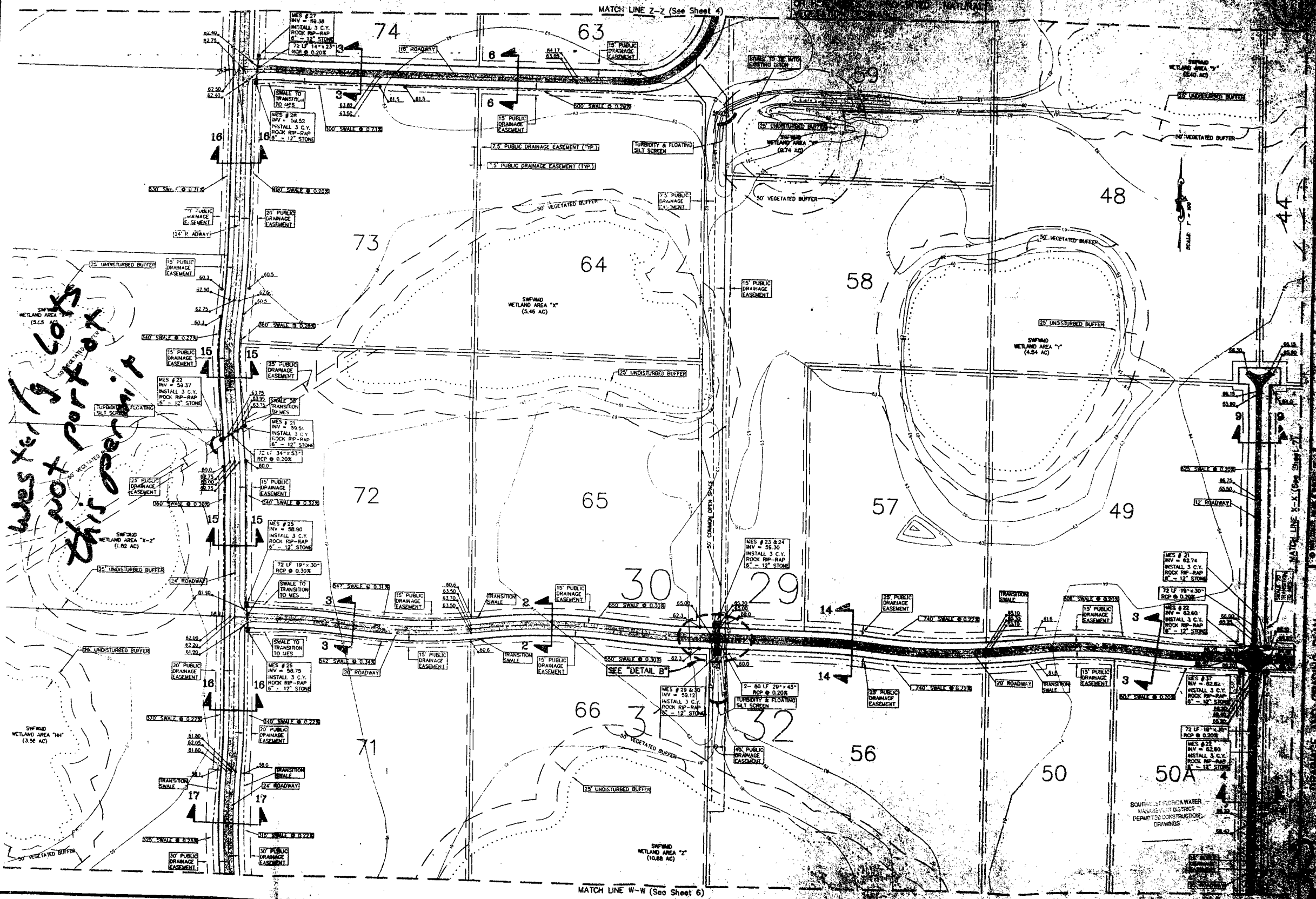
State of Florida  
Department of Transportation  
Bureau of Engineering  
Office of the Chief Engineer  
Tallahassee, Florida

REVISIONS

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**DRAINAGE AND GRADING PLAN**  
FOR  
**FOXWOOD**  
SECTION 29-32, TOWNSHIP 30 SOUTH, RANGE 20 EAST  
MANATEE COUNTY, FLORIDA

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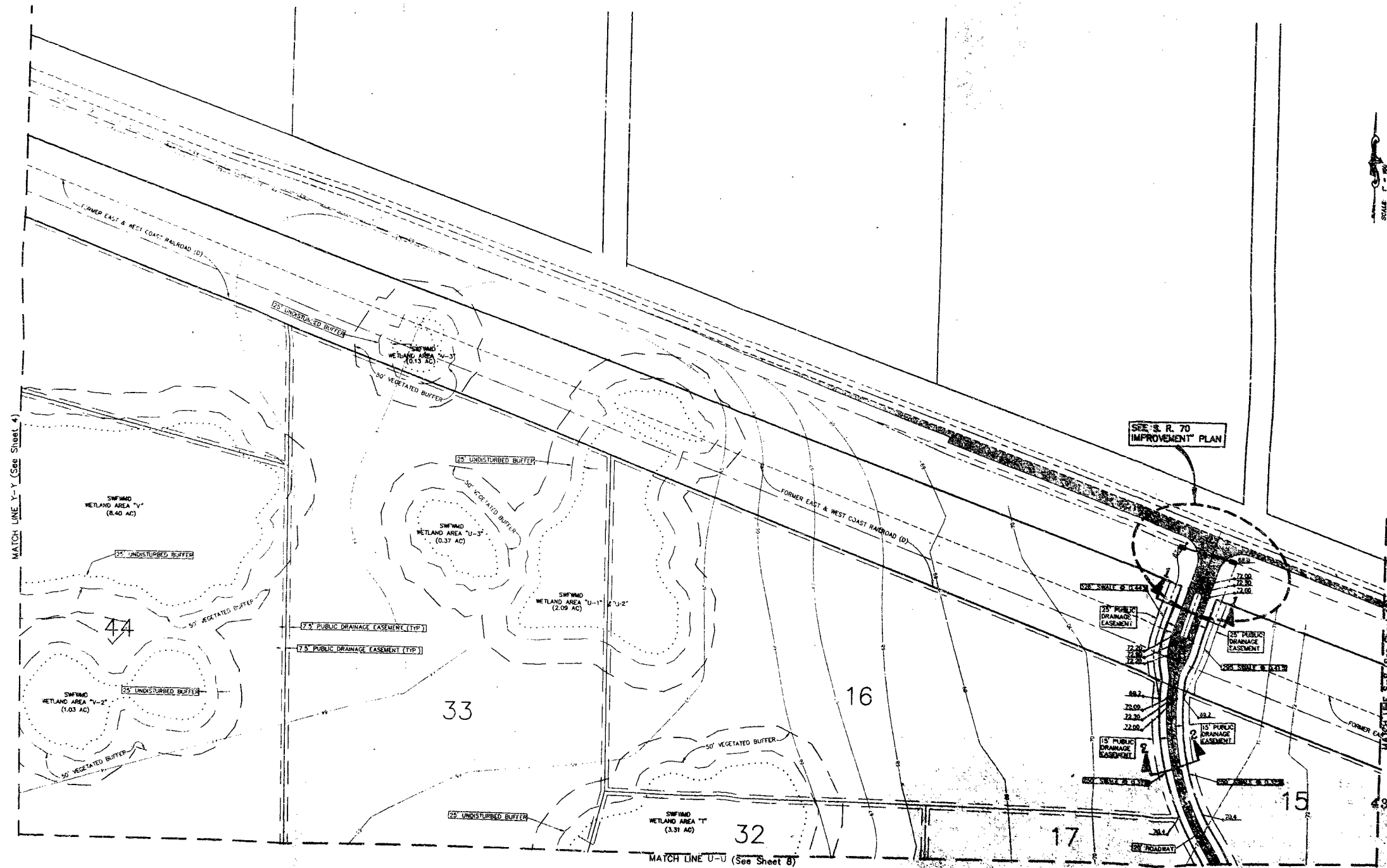
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DRainage and Grading Plan  
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SOUTHEAST FLORIDA WATER  
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DRAWINGS



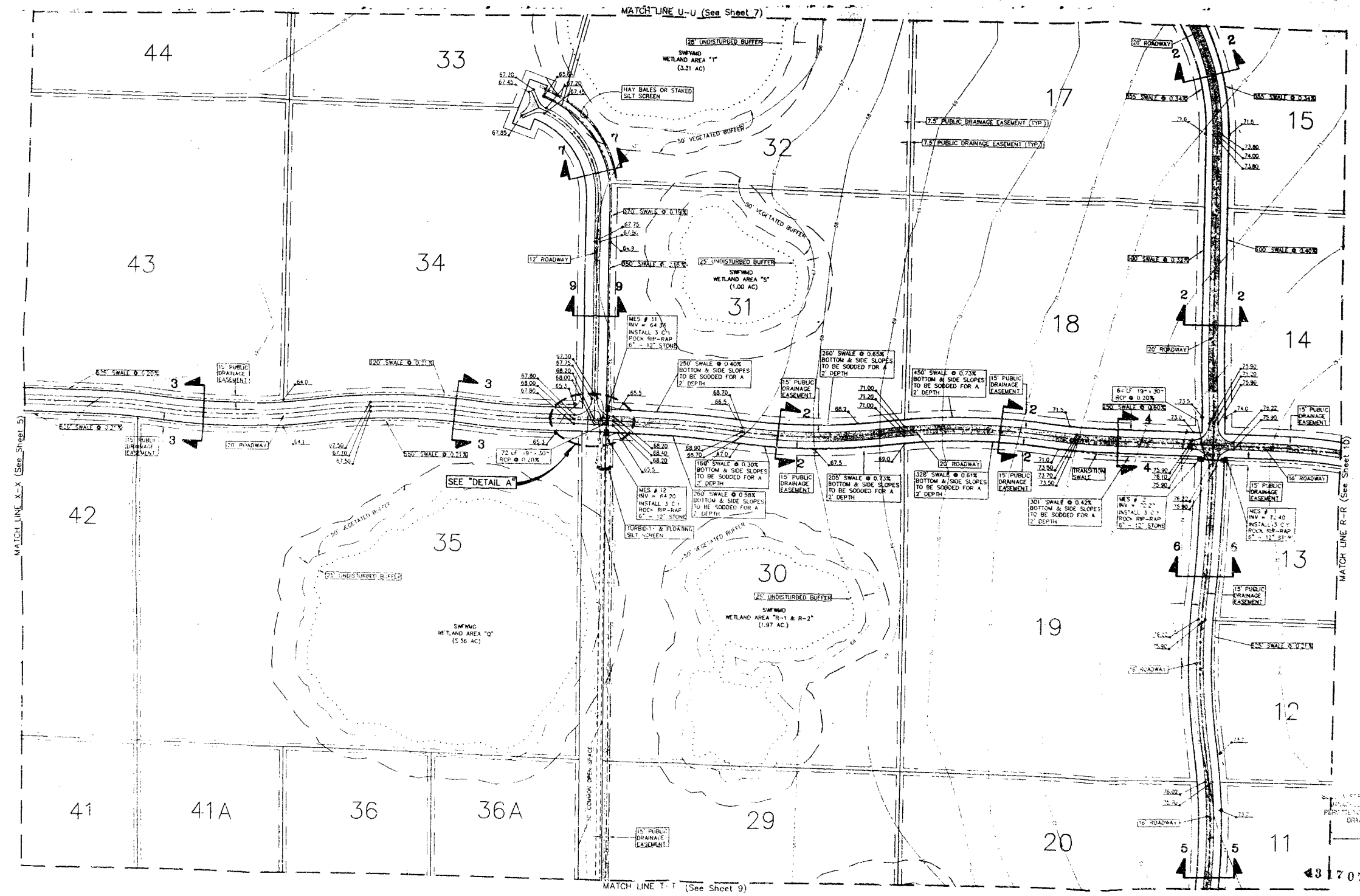
NOTE: FOR 50 FOOT VEGETATED BUFFER:  
APPLICATION OF FERTILIZERS, PESTICIDES  
OR HERBICIDES IS PROHIBITED. NATURAL  
VEGETATION DESIRABLE.



SWPMD  
DRAINAGE AND GRADING PLAN  
FOXWOOD

4317076-00

NOTE: A 50 FOOT VEGETATED BUFFER APPLICATION OF FERTILIZERS, PESTICIDES OR HERBICIDES IS PROHIBITED. NATURAL VEGETATION DESIRABLE.



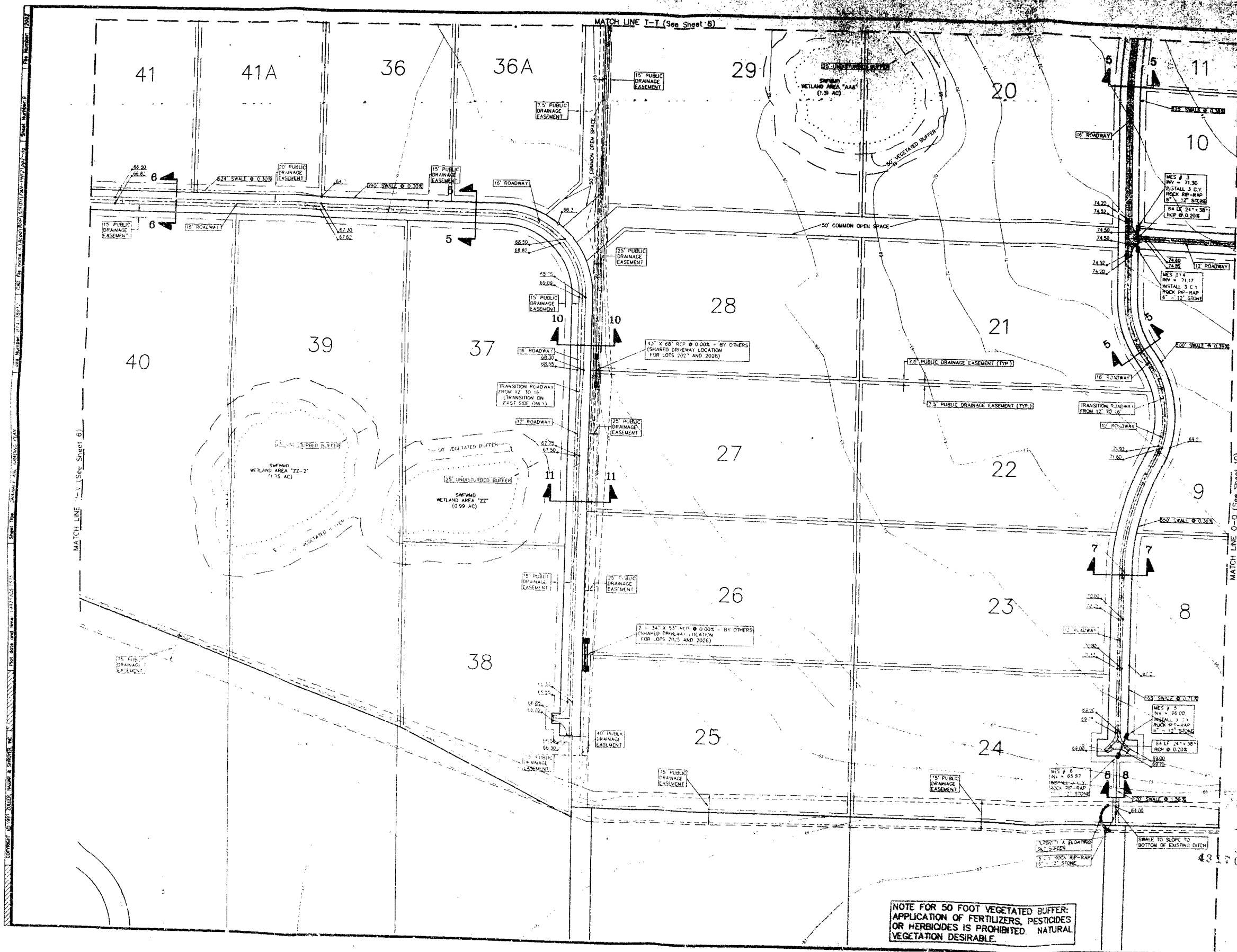
Drainage and Grading Plan  
for  
FOXWOOD  
LOCATED IN  
SECTION 29-32, TOWNSHIP 35 SOUTH, RANGE 30 EAST  
MANATEE COUNTY, FLORIDA

REVISIONS

| NO. | DATE    | DESCRIPTION         |
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| 1   | 10/1/87 | ISSUED FOR PERMIT   |
| 2   | 10/1/87 | REVISIONS TO PERMIT |
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DRainage and Grading Plan  
for  
FOXWOOD  
LOCATED IN  
SECTION 29-32, TOWNSHIP 35 SOUTH, RANGE 30 EAST  
MANATEE COUNTY, FLORIDA

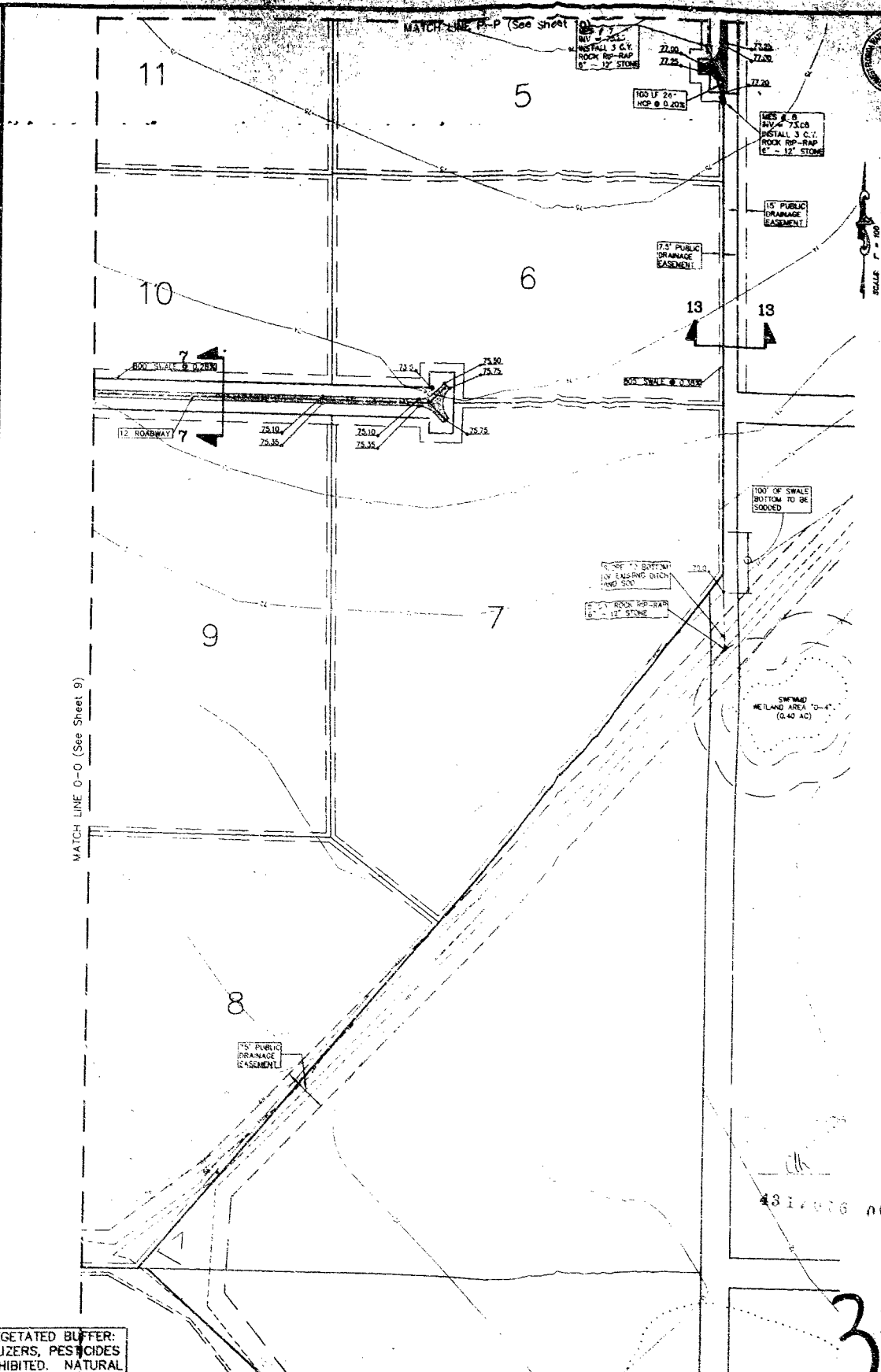
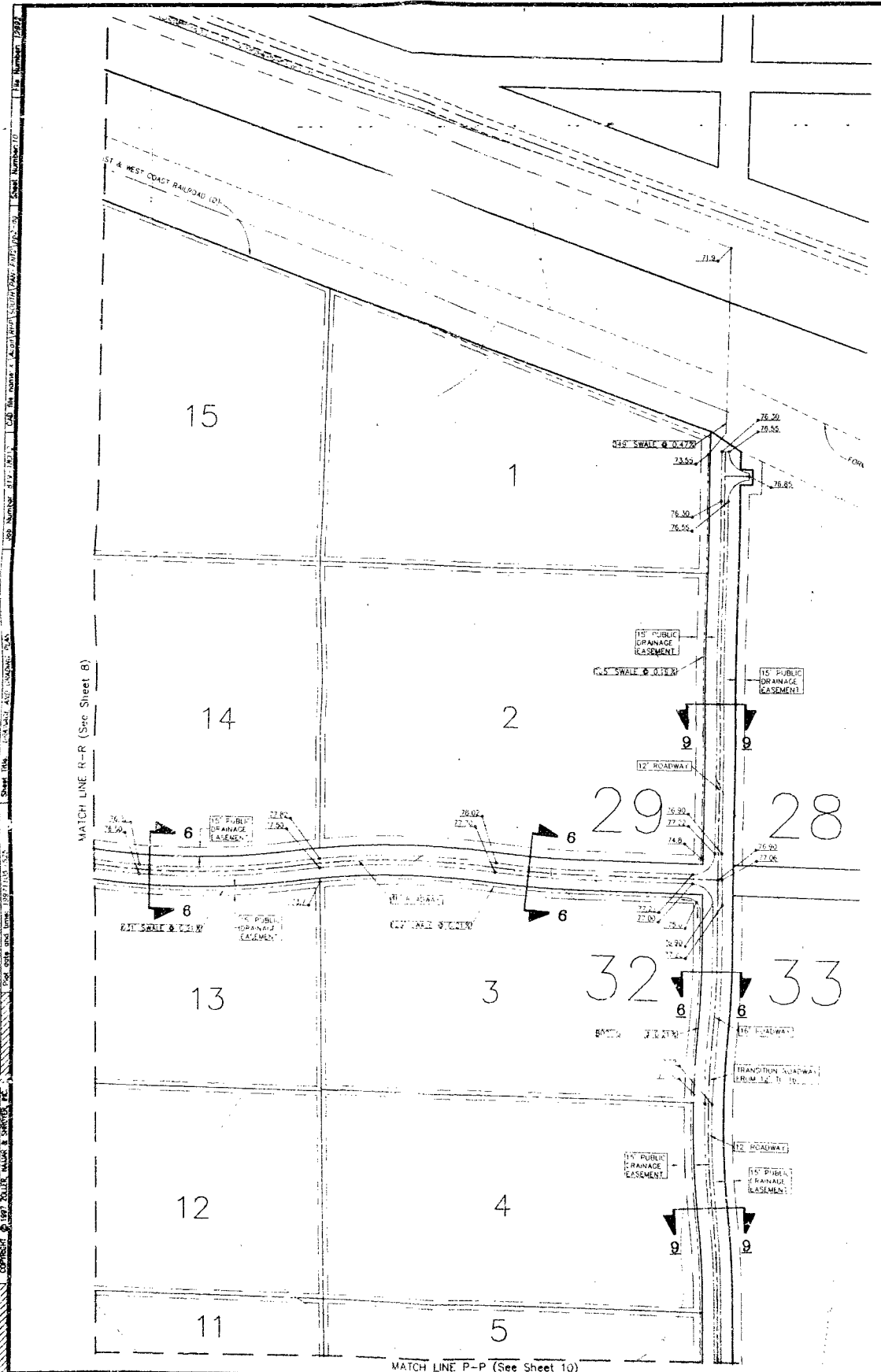
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Letter, Noller & Shroyer, Inc.  
Engineers, Surveyors, Planners  
2000 N. W. 1st St., Suite 100  
Fort Lauderdale, FL 33304  
Phone: (305) 555-1234  
Fax: (305) 555-1235  
E-mail: info@noller.com

DRAINAGE AND GRADING PLAN  
FOR  
FOXWOOD  
LOCATED IN  
SECTION 29-32, TOWNSHIP 33 SOUTH, RANGE 20 EAST  
MANATEE COUNTY, FLORIDA

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NOTE FOR 50 FOOT VEGETATED BUFFER:  
APPLICATION OF FERTILIZERS, PESTICIDES  
OR HERBICIDES IS PROHIBITED. NATURAL  
VEGETATION DESIRABLE.

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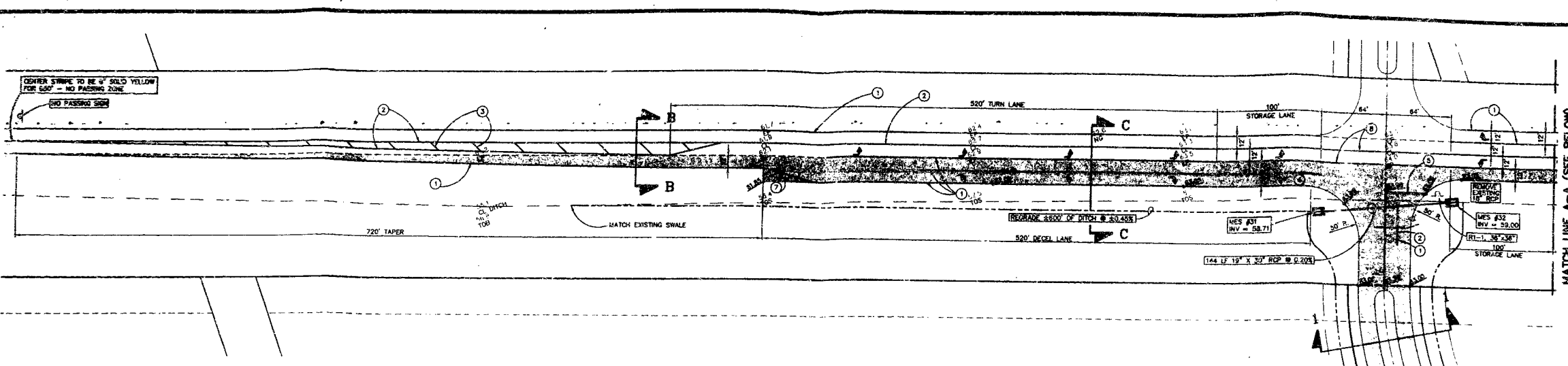
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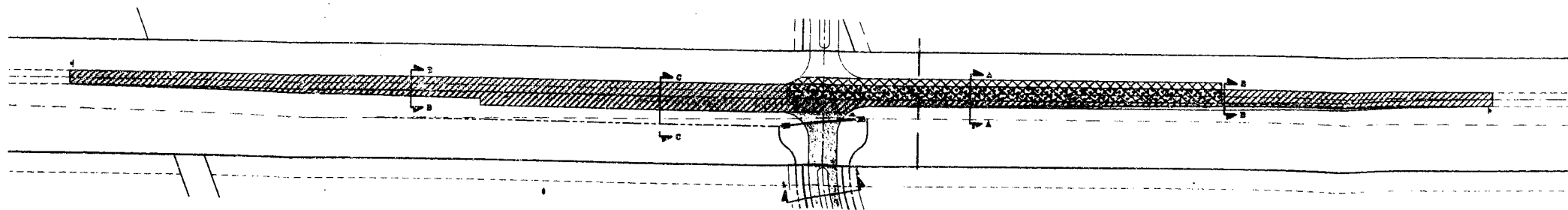
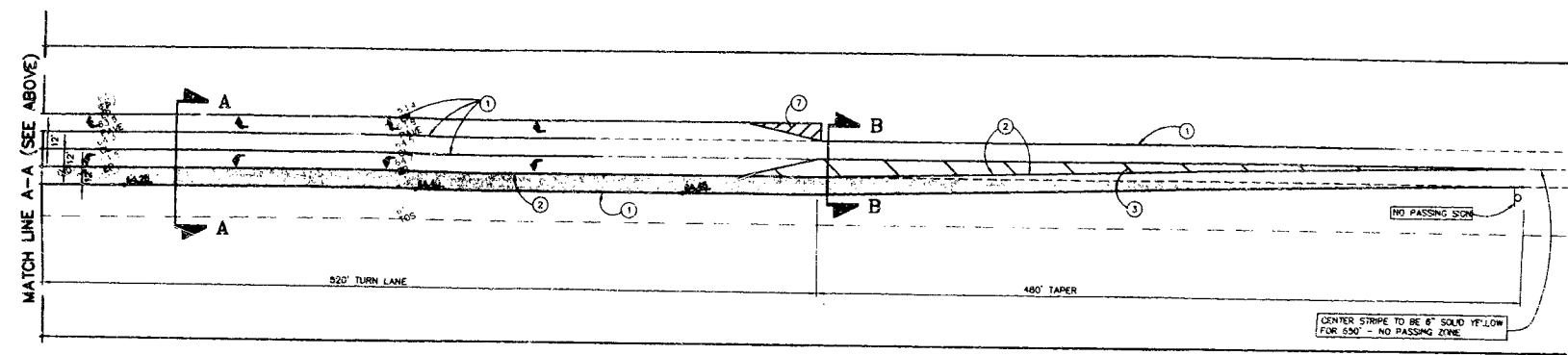
**DRAINAGE AND GRADING PLAN**  
FOR  
**FOXWOOD**  
LOCATED IN  
SECTION 28-22, TOWNSHIP 35 SOUTH, RANGE 20 EAST  
MANATEE COUNTY, FLORIDA

**J. J. J. & S. J. J. INC.**  
ENGINEERS & SURVEYORS  
1000 N. 10TH ST., SUITE 100  
TAMPA, FL 33602  
TEL: 813-241-1111  
FAX: 813-241-1112  
WWW.JJJANDSJJ.COM



- LEGEND**
- ① 6" SOLID WHITE LINE
  - ② 6" SOLID DOUBLE YELLOW LINE
  - ③ 18" SOLID YELLOW LINE (40' SPACING)
  - ④ WHITE LANE USAGE ARROW
  - ⑤ 24" WHITE STOP BAR
  - ⑥ 6" BROKEN YELLOW LINE
  - ⑦ 18" WHITE LINE (10' SPACING)
  - ⑧ 6" BROKEN YELLOW LINE (6'/10' SKIP)
  - PROPOSED PAVEMENT
  - PREVIOUSLY MILLED (WITH NORTH IMPROVEMENTS)
  - PROPOSED AREA TO BE MILLED
  - 1" S-3 ASPHALT W/FC-2 OVERLAY
  - FC-2 OVERLAY ONLY

**NOTE:**  
 1. SEE SHEET 12 FOR CROSS SECTIONS  
 2. RAISED REFLECTIVE PAVEMENT MARKERS PER F.D.O.T. INDEX 17352



**MILL AND OVERLAY PLAN**  
 SCALE: 1" = 100'

SOUTHEAST FLORIDA WATER  
 HAVEN DISTRICT  
 PERMITTEE CONSTRUCTION  
 DRAWINGS

**S.R. 70 IMPROVEMENTS**

**FOXWOOD - WEST ENTRANCE**

SECTION 29-32, TOWNSHIP 34, SOUTH, RANGE 20, EAST  
 MANATEE COUNTY, FLORIDA

DESIGNED: *[Signature]*  
 DATE: 8-2-87  
 DRAWN: *[Signature]*  
 DATE: 8-2-87

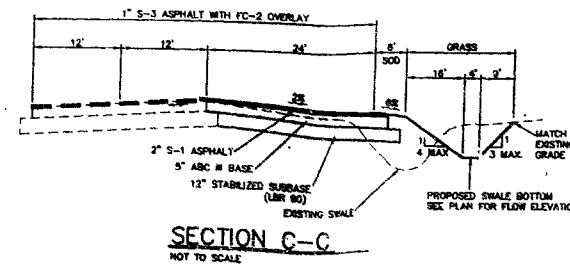
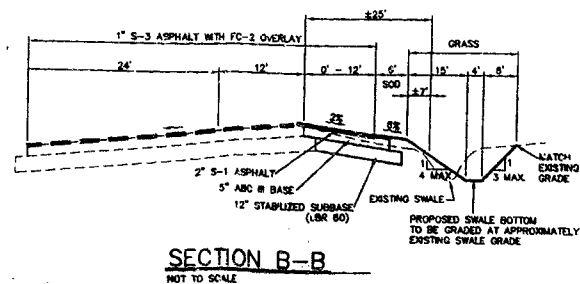
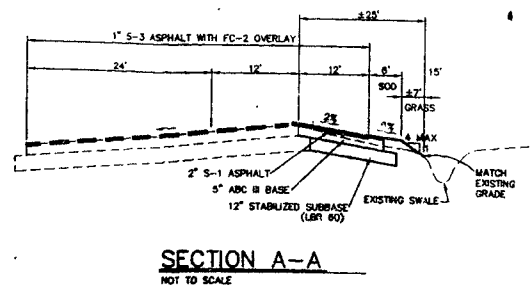
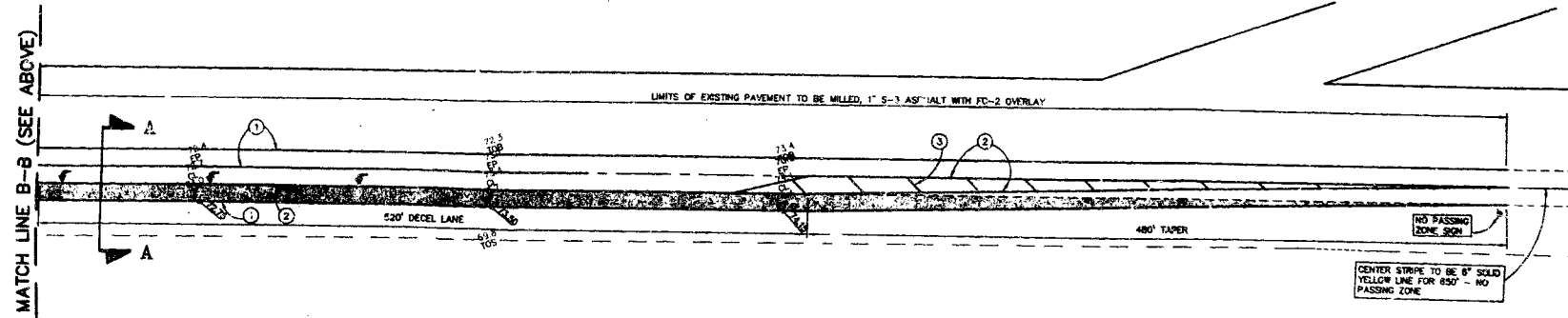
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 2. RAISED REFLECTIVE PAVEMENT MARKERS PER F.D.O.T. INDEX 17352

REVISIONS

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| 1   | ISSUED FOR POST | 10-18-87 |

- LEGEND**
- ① 6" SOLID WHITE LINE
  - ② 6" SOLID DOUBLE YELLOW LINE
  - ③ 18" SOLID YELLOW LINE (40' SPACING)
  - ④ WHITE LANE USAGE ARROW
  - ⑤ 24" WHITE STOP BAR
  - ⑥ 6" BROKEN YELLOW LINE
  - ⑦ 18" WHITE LINE (10' SPACING)
  - ⑧ 6" BROKEN YELLOW LINE (6'/10' SKIP)
  - ⑨ PROPOSED PAVEMENT

NOTE: RAISED REFLECTIVE PAVEMENT MARKERS PER F.D.O.T. INDEX 17352



SECTION C-C WATER  
MARKER - INSTRUCT  
PERMANENT INSTRUCTION  
ELEVATIONS

317076 00

37

**S.R. 70 IMPROVEMENTS**  
FOR  
**FOXWOOD - EAST ENTRANCE**  
LOCATED IN  
SECTION 30-40, TOWNSHIP 35 SOUTH, RANGE 20 EAST  
MANATEE COUNTY, FLORIDA

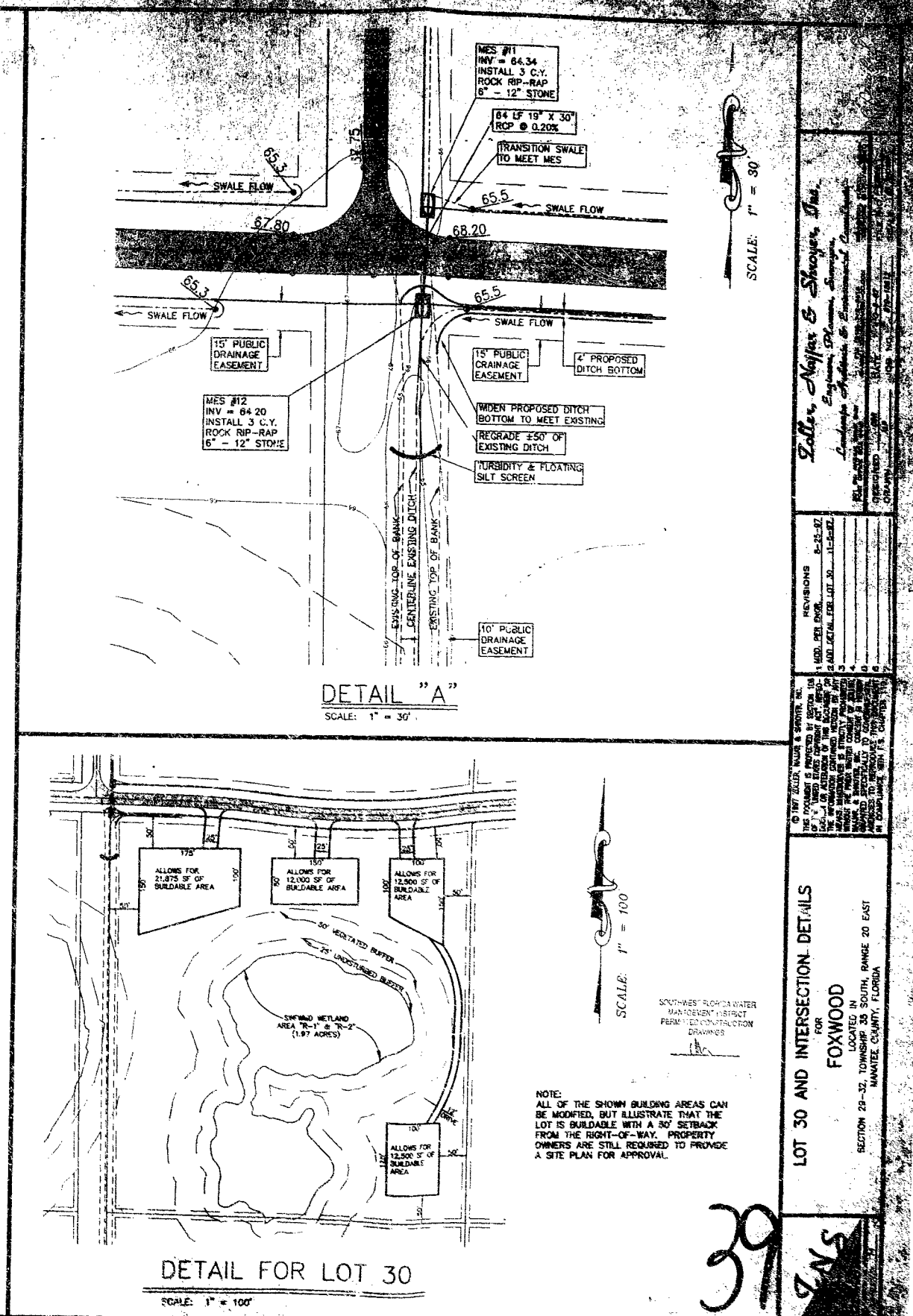
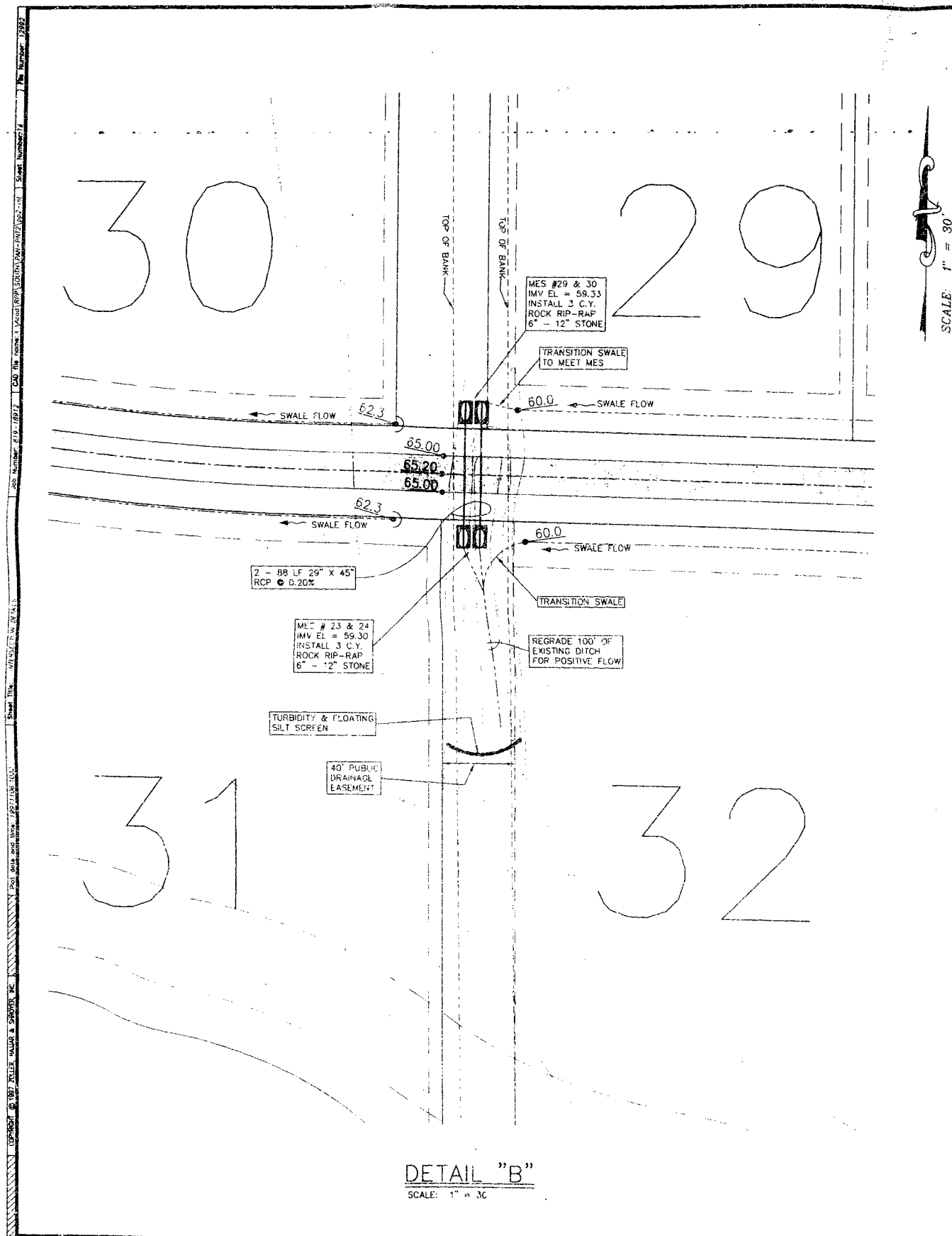
**Doller, Naylor & Shaffer, Inc.**  
Engineers, Surveyors, Planners  
and Architects  
1000 N. 1st St., Suite 100  
Tampa, FL 33602  
Phone: (813) 241-1111  
Fax: (813) 241-1112

**REVISIONS**

| NO. | DATE     | DESCRIPTION       |
|-----|----------|-------------------|
| 1   | 10-15-12 | ISSUED FOR PERMIT |
| 2   | 10-15-12 | ISSUED FOR PERMIT |
| 3   | 10-15-12 | ISSUED FOR PERMIT |
| 4   | 10-15-12 | ISSUED FOR PERMIT |
| 5   | 10-15-12 | ISSUED FOR PERMIT |
| 6   | 10-15-12 | ISSUED FOR PERMIT |
| 7   | 10-15-12 | ISSUED FOR PERMIT |
| 8   | 10-15-12 | ISSUED FOR PERMIT |
| 9   | 10-15-12 | ISSUED FOR PERMIT |
| 10  | 10-15-12 | ISSUED FOR PERMIT |

SCALE.

**Dollar, Nyffer & Sneyer, Inc.**  
Engineers, Architects, Surveyors,  
Construction Methods & Environmental Consultants  
1000 15th St., N.W., Washington, D.C. 20004  
Tel. 202/331-1100



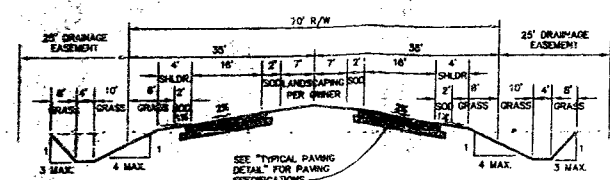
**LOT 30 AND INTERSECTION DETAILS**  
FOR  
**FOXWOOD**  
LOCATED IN  
SECTION 29-32, TOWNSHIP 30 SOUTH, RANGE 20 EAST  
MANATEE COUNTY, FLORIDA

**REVISIONS**

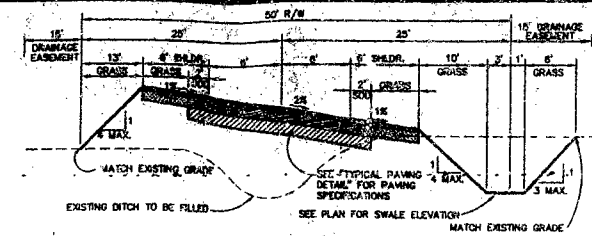
| NO. | DATE     | DESCRIPTION              |
|-----|----------|--------------------------|
| 1   | 11-15-17 | 1. PREPARE FOR PERMIT    |
| 2   | 11-15-17 | 2. AND ACTUAL FOR LOT 30 |
| 3   |          |                          |
| 4   |          |                          |
| 5   |          |                          |
| 6   |          |                          |

**DESIGNER:** *Patton, Naylor & Shroyer, Inc.*  
*Engineers, Planners, Surveyors*  
1000 N. W. 11th St., Suite 100  
Tampa, FL 33604  
TEL: 813-288-1111  
FAX: 813-288-1112  
WWW.PNS-FLA.COM

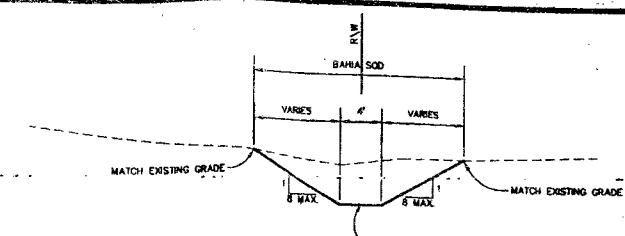
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**INS**



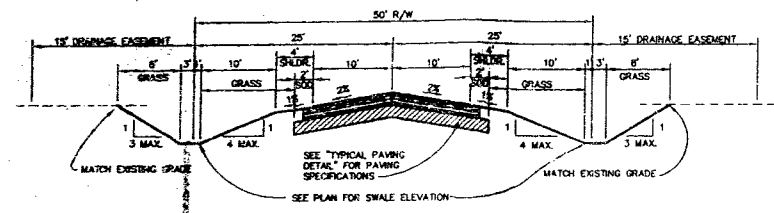
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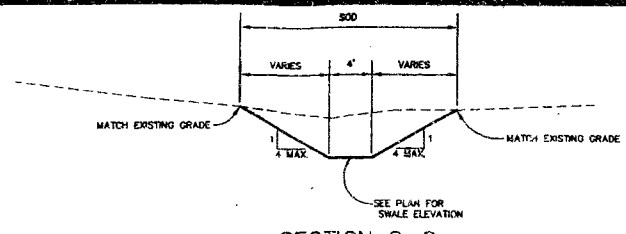
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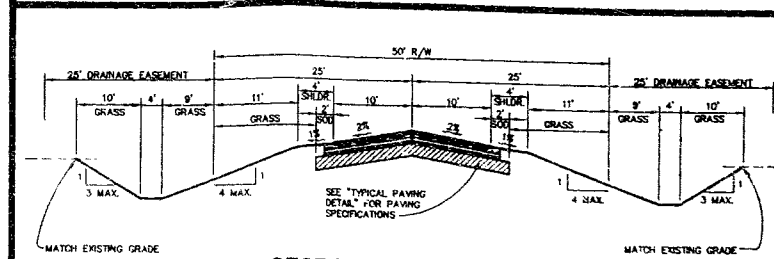
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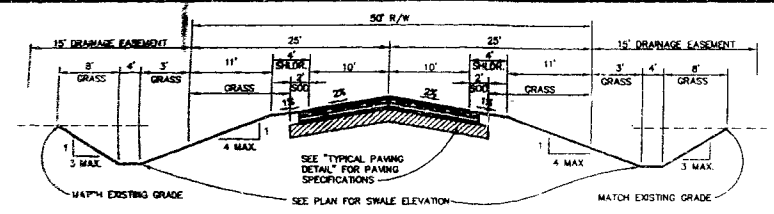
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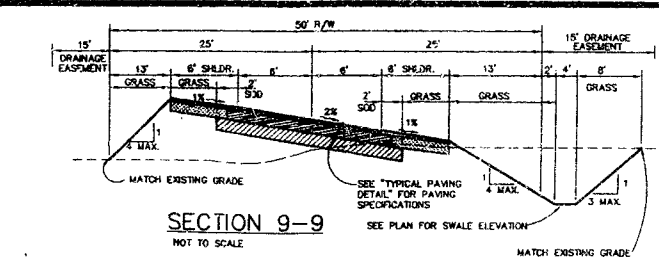
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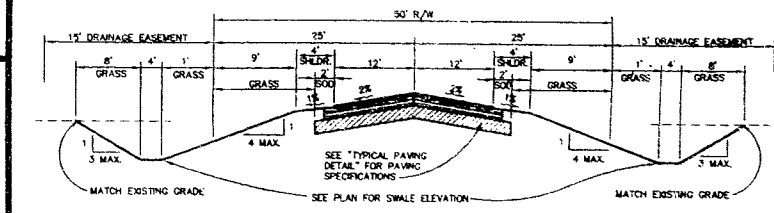
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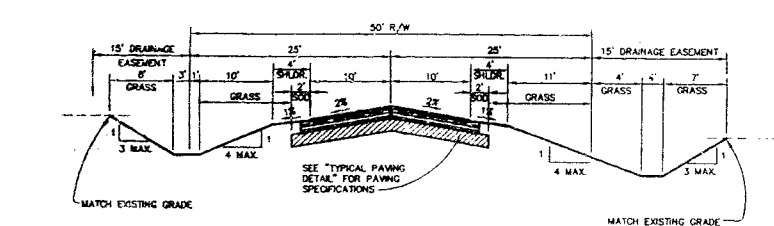
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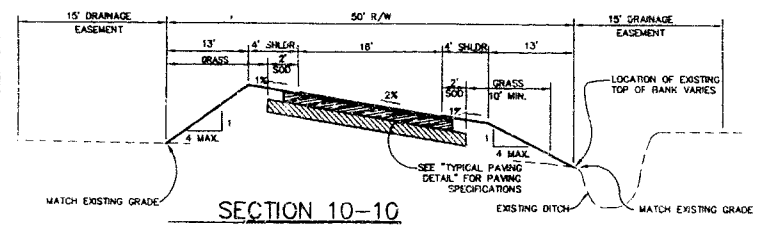
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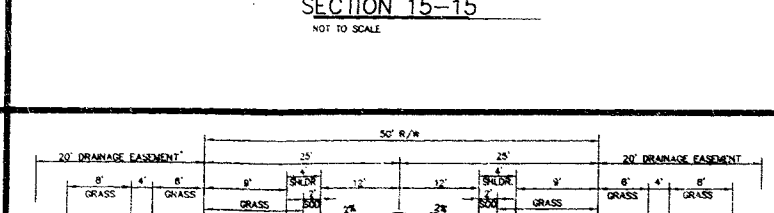
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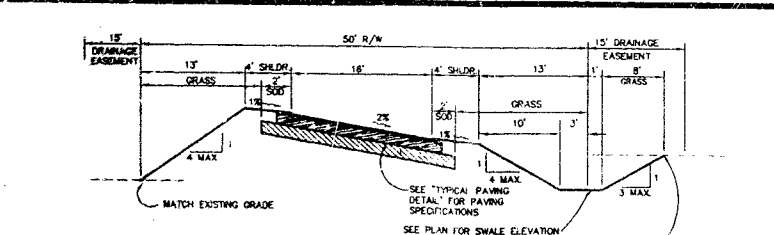
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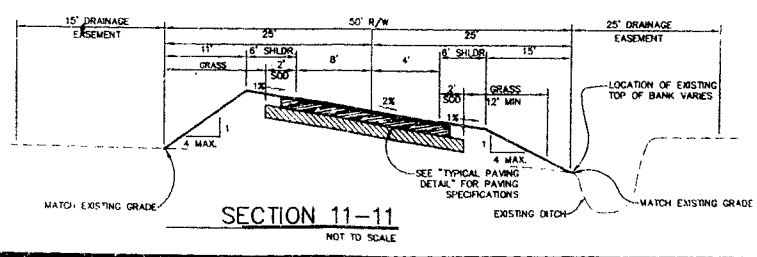
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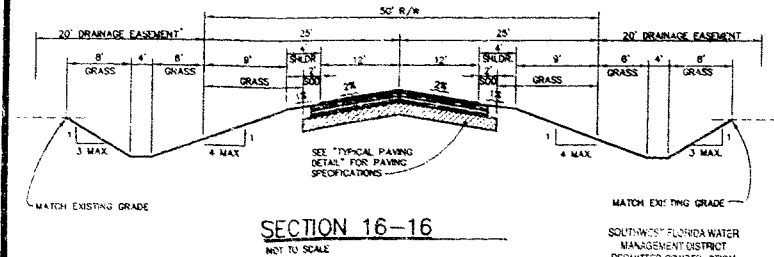
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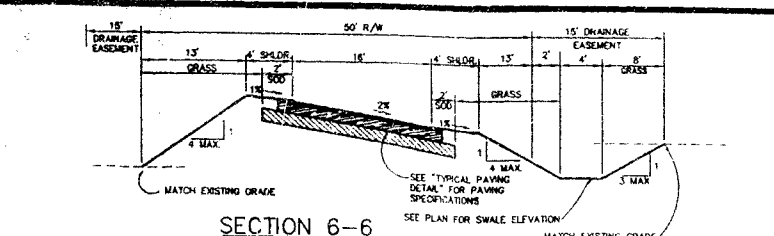
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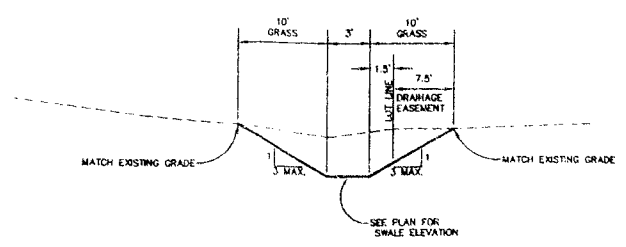
SECTION 11-11  
NOT TO SCALE



SECTION 17-17  
NOT TO SCALE



SECTION 6-6  
NOT TO SCALE



SECTION 12-12  
NOT TO SCALE

John J. Naylor, Inc.  
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Landscapers, Architects & Environmental Consultants  
1000 N. W. 10th Ave., Suite 1000  
Fort Lauderdale, FL 33304  
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Fax: (954) 571-1112  
E-mail: jnaylor@jjnaylor.com  
DATE: 07/27/01  
JOB NO.: 01-001  
FILE NO.: 12777  
SHEET NO.: 12

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| 1   |      |             |
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| 6   |      |             |
| 7   |      |             |

DRAINAGE DETAILS FOR FOXWOOD

LOCATED IN SECTION 28-32, TOWNSHIP 35 SOUTH, RANGE 20 EAST MANATEE COUNTY, FLORIDA

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